



TEMPO  **, Inc.**

Classic Exteriors, Inc
5900 Roche Dr. Suite 310-A
Columbus, OH 43229
(614) 601-6400



Honeywood-Powell

Backyard Project

6630 Chanticleer Ct.
Westerville, OH 43081

GENERAL REMODELING ESTIMATE



CLASSIC EXTERIORS, INC

5900 Roche Dr. Suite 310A
Columbus, Ohio 43229
Main Office

(614) 601-6400

Customer Name: Deshon and Alorian Honeywood Powell

Date: 05/15/2022

Address: 6630 Chanticleer Court

Phone: (614) 218-6347

City: Westerville

State: OH

Zip: 43082

Phone:

This agreement is a change order add on plus a finalized revision of work to contract agreement signed & dated 4/28/2022 for \$89,868.00 total with deposit of \$25,000.00. This agreement supersedes previous work details & revisions. We will dismantle and haul away existing deck and framing. We will build a new 14' X 17' platform deck foundation with 14' X 12' built with 3/4" subfloor ready to install sunroom. Remaining 14' X 5' portion to be a wood deck with no steps, only wood railing 14' across the front and 5' railing on both sides leading back to room. We will then supply and install a custom Temo 206 series (SANDSTONE) color patio room with a 4" insulated (SANDSTONE) color studio style roof under house soffit with built in gutter. Walls to have Temkor coated 2" insulated knee walls and transoms and sliding HPG energy efficient glass sliding windows and (2) full view 42" glass doors with (BRUSHED NICKEL) hardware to be configured as follows: From the backyard looking at the house the left wall will have left-hand in-swing 42" door positioned closest to the house (Left hand In-Swing) and sliding glass windows from the door to the end. The right wall will have no door with sliding glass windows from end to end. The front wall will have (Right Hand In-Swing) 42" door on the right side of wall with sliding glass windows from the door to the end. The roof will be wired and mount centered and ready for a ceiling fan. (We will install customer supplied fan), Electric outlets to be installed as follows: (1) outlet below the light switch next to door at knee wall height. (1) outlet up high in the corner of right wall and house wall, (1) outlet on front wall at knee wall height next to door, (1) outlet up high in the corner of front wall and left wall. Each door will have an exterior coach light & switch wired at both doors. We will install customer supplied coach lights and install to the right of the door on the left wall and to the left of the door on front wall. Steps and railing to be built from left wall front of door leading down to lower patio area. Post caps & steps to be upgraded to solar lights - no charge

The total cost of this portion of the project will be \$55,617.82 + \$200 for the extra outlet = \$55,817.82
(Wood boards, railing, steps, & skirting labor and materials already included in \$55,817.82)

Below is for material upgrade cost only:

* Upgrade deck boards from wood to TimberTech (WHITEWASH CEDAR) grooved hidden fastener mounted deck boards & vinyl DuraLux railing (ADOBE COLOR SQUARE 4X4 POSTS w/ T-RAIL STYLE ALUMINUM BLACK ROUND SPINDLES) \$6,200

* Upgrade skirt material around lower perimeter of room, deck, & stairs to be framed out and 12" fascia boards installed to run vertical with an additional 12" fascia board to run horizontal over top of skirt for complete lower exterior coverage - color to be (WHITEWASH CEDAR) \$4,230

* Upgrade steps & railing leading from patio room door to lower patio off left wall from wood to composite boards & vinyl railing to match deck colors and style - \$1,500.00

* Finished flooring LVP to be supplied by customer and will be installed at no extra charge if customer has material on site
Classic Exteriors will install an Temo (SANDSTONE) color free standing Operable Pergola (18' x 16') over the patio area to the left of the Sunroom. *Patio area is slightly larger than the 17'x15' originally agreed upon - No extra charge
Pergola will have slats running perpendicular to house and will be slightly tilted toward back yard to allow water to run away from house. We will dig 4 pier footers outside the patio in the dirt surrounding patio and install (Venetian Style) round 8" posts with decorative caps and shoes. Wiring additional 2 prong outlet to power pergola operation. *No extra charge for this outlet. Should customer decide to add retractable screen on pergola later, 1 outlet will be available

Total cost of this portion of the project will be \$34,250.18 (Pergola price is included in contract but customer may cancel if unable to acquire financing for this part - Pergola has not been ordered and will not be until customer approves)

All discounts and promotions included in final price. Summary of costs: Initial Contract \$55,617.82 + \$34,250.18 = \$89,868.00 + \$200 for extra outlet = \$90,068.00 + \$6,200.00 Deck & Railing Upgrade + \$4,230 Skirt Upgrade + \$1,500 Steps Upgrade = \$101,998.00 Total assuming pergola is a go. Draw schedule w/pergola: \$25,000.00 Paid 4/26/2022 - \$40,000.00 Due upon work beginning & delivery of materials - \$30,000.00 Due upon both deck & pergola structures built and framing inspections passed - \$6,998.00 Due after punch out list is satisfied and all work is complete and area has been cleaned of all work related debris. If pergola is canceled, 2nd draw would be \$20,000.00, 3rd \$20,000.00, \$2,748.00 after punch out. All permit applications and fees, HOA approvals and fees, inspections, and prints

I acknowledge this Estimate provided by Classic Exteriors, Inc., and understand that the above scope and pricing may become a contractual obligation upon agreeing that Classic Exteriors, Inc. to perform such services for the Estimated and price listed above, and that this Estimate may be incorporated as part of the Contract. I also acknowledge that Change Orders May be necessary for items that have not yet been discovered but may be necessary or optional and performed upon my approval.

1. Estimated Cost of Improvements	\$	\$101,998.00
2. Estimated Deposit	\$	\$25,000.00 PAID
3. Estimated Down Payment	\$	\$40,000.00 START
4. Estimated Unpaid Balance	\$	\$36,998.00 BAL

Classic Exteriors, INC

Agent:  e-Signed by Michael James

05/15/2022

IN WITNESS WHEREOF the undersigned have hereunto subscribed their names the day and year first written above.

Purchaser:

e-Signed by Deshon and Alorian Powell 05/15/2022

Purchaser:

GENERAL REMODELING CONTRACT



CLASSIC EXTERIORS, INC

5900 Roche Dr. Suite 310A
Columbus, Ohio 43229
Main Office

(614) 601-6400

Customer Name: Deshon and Alorian Honeywood Powell

Date: 05/15/2022

Address: 6630 Chanticleer Court

Phone: (614) 218-6347

City: Westerville

State: OH

Zip: 43082

Phone:

Estimated Job Start Date: 08/31/2022 Estimated Completion Date: 09/30/2022

ESTIMATE INTEGRATION

The Contractor agrees to delivery and installation of those items, **as set out in the itemized estimate provided to the Customer**, in accordance with availability from contractors, suppliers and with Contractor's own scheduling requirements.

PAYMENT

All checks are to be made payable to Classic Exteriors, Inc unless otherwise specified, the terms of the contract require final payment in cash or equivalent upon delivery of the final invoice. If the Customer has arranged financing with a third party, the Customer agrees to execute all documents required by such third-party financier. Any delinquent balance under this contract shall bear interest at the rate of one-and-one-half percent (1.5%) per month or annual rate of eighteen percent (18%) from the date such payment is due. **ALL WARRANTIES HEREIN ARE NULL AND VOID AND OF NO FORCE OR EFFECT UNLESS THE CUSTOMER PERFORMS HIS OBLIGATION OF TIMELY PAYMENT. Any issue with non-payment for quality shall be arbitrated by the BBB if raise by the Customer or a court with applicable jurisdiction of raised by Seller, Classic Exteriors, Inc.**

WHOLE AGREEMENT

This Contract, amendments, change orders, attached terms and conditions, and attachments, in writing, constitute the complete and entire understanding of the Parties to this Contract and no other understanding, verbal or otherwise, shall be binding upon the parties, unless agreed in writing, and signed, by both parties.

TERMS AND CONDITIONS

Further terms and conditions are attached and are hereby incorporated into this Contract.

ESTIMATE NOTICE AND ACKNOWLEDGMENT

You have the right to an estimate of the costs of repairs or services which you are requesting. Your bill will not be higher than the estimate by more than ten percent (10%) unless you approve a larger amount before repairs are finished. You can choose the kind of estimate you want to receive by signing your name under one of the following choices and indicating a telephone number where you can be reached if necessary. **I acknowledged that I received a written estimate:**

e-Signed by Deshon and Alorian Powell 05/15/2022

X

(Customer Signature)

Classic Exteriors, INC

Agent:

e-Signed by Michael James

05/15/2022

IN WITNESS WHEREOF the undersigned have hereunto subscribed their names the day and year first written above.

e-Signed by Deshon and Alorian Powell 05/15/2022

Purchaser:

Purchaser:

Terms and Conditions

This Contract and any agreements in writing made pursuant thereto (the "Contract") is between Classic Exteriors, INC., (the "Company" or "Contractor") and the Customer(s) named herein on the Contract. This Contract is subject to all appropriate laws, regulations, and ordinances in the State of Ohio and these Terms and Conditions.

1. This Contract along with these terms and conditions are composed of the Retail Construction Contract, Estimate, any Change Orders, or the Scope of Work Addendum, if applicable, and all other documents referenced in or incorporated into this Contract.

2. Our workmanship warranties are for 1 year, unless upgraded. Warranty not valid unless Company paid in full. The forgoing warranty is exclusive and in lieu of all other warranties, express or implied, including without limitation, any warranties of MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, and all other warranties are hereby disclaimed and excluded. Under our workmanship warranty, Company warrants that all components are installed correctly, in accordance with industry standards. Defects in materials are covered by separate manufacturer's warranties. The Company is not responsible for any damages on or below the roof due to leaks caused by excessive winds, wind driven rain, ice, or hail during the period of the warranty. Excessive wind means 40 mph or greater. Company's warranty is nontransferable, unless otherwise agreed to by the Contractor.

3. WARRANTIES: Contractor shall provide a reasonable workmanship warrantee for work done within industry standards, without charge, for the period of one year from the day of completion in accordance with any manufacturer warranties to the Customer. This service shall be rendered by the Contractor between 9 am and 4 pm weekdays. Services performed after the one (1) year period or outside of the manufacturer's warranties shall be provided to the Customer at the then prevailing rate of the Contractor. An extended warranty may be available, but must be made in writing and agreed to by the Contractor. Contractor ONLY warrants work performed by the Contractor.

4. EXCLUSIONS TO WARRANTIES: Contractor does not warrant against concrete cracking. Contractor does not guarantee or warrant the elimination of moisture from the home and there is no warranty regarding condensation of any type. Contractor does not warrant against "Nail Pops" in drywall when a service is performed that is not directly related to drywall repair and replacement in the repaired area. Contractor does not warrant color matching to previously installed material, stucco cracking, or ANY damage by outside influences. E.g. physical abuse, impacts by foreign objects, unintended use, or acts beyond the control of the Contractor. There are expressly no other warranties expressed or implied unless in writing from Classic Exteriors, Inc.

5. Each Contract or Change Order is subject to approval of the Company's credit department and office without exception. This Contract and all applicable warranties shall not be assigned except by or with the written permission of the Company. Company's use of a subcontractor shall not affect Company's warranty to Customer.

6. Should default be made in payment of this Contract, charges shall be added from the date thereof at a rate of 1.5% per month (18% per annum), with a minimum charge of \$2.00 per month. If placed in the hands of an attorney for collection, you shall pay all attorneys' fees, costs and legal filing fees incurred.

7. Customer Acknowledges that a lien may be place on the property in the event of non-payment, and that the Customer is responsible for any cost in placing and/or removing the lien.

8. The Company shall have no responsibility for damages from rain, fire, tornado, windstorm, or other perils, as it is normally contemplated to be covered by HOMEOWNER'S INSURANCE or BUSINESS RISK INSURANCE, unless a specified written Contract be made therefore prior to commencement of the work at your property under contract for work (the "Project."). During the duration of the Project, your homeowner's insurance will be responsible for any interior damage as long as the Company has taken appropriate action to protect the roof during the repair/replacement period. The Company is not responsible under any circumstances, warranty or otherwise, for any mold, fungi, or interior damage caused by or resulting from mold or fungi, or the abatement of any said items.

9. The Customer releases the Company from any liability or cause of further damage/loss due to any attempts made to secure the property from further damage/loss, such as, but not limited to: the placement or attachment of temporary tarps to the roof to protect against further damage/loss. Company shall not be liable for failure of performances due to labor controversies, shortages, strikes, fires, weather, inability to obtain materials from usual sources, or any other circumstances beyond the control of the Company, whether of a similar or dissimilar nature. Customer has a duty to mitigate any damages to their own Property.

10. The quotation on the face hereof does not include expenses or charges for bond insurance premiums or costs beyond normal insurance coverage, and any such additional expenses, premiums, or costs shall be added to the amount of the Contract.

11. Replacement of deteriorated decking, fascia boards, and roof jacks, ventilators, flashing or other materials, UNLESS OTHERWISE STATED IN THIS CONTRACT, are NOT INCLUDED and will be charged as an extra, on a time and material basis.

12. RECISSION: Contractor's right of recission: Owner(s) agree that the Contractor shall have the right to rescind this Contract and to declare this Contract null and void if either of the following reasons occur: A) Within fourteen (45) days of the execution of this contract, Contractor or Customer is unable to obtain from a financial institution a commitment to accept and assignment of this Contract under the terms acceptable to the Contractor when specified work is completed and accepted by the Customer(s)* or B) for any reason if written notice is mailed or emailed to the Owner(s) by the Contractor prior to Customers three (3) day notice expiration. In the event of cancellation by the Contractor any down payment received by the Contractor from the Customer shall be promptly refunded.

13. IF THIS CONTRACT IS CANCELLED BY THE CUSTOMER LATER THAN MIDNIGHT OF THE 3rd BUSINESS DAY AFTER its execution, the Customer understands that Company will have lost profits and substantial time due to the breach of this Contract, and that the Customer shall be responsible either for a 30% of the total Estimated Contract price or Estimate provided to the Customer or b) Company's representatives' incurred time at an hourly rate of \$150 per hour, and shall be responsible for the retail value of any material used or ordered of the project whichever Company elects to enforce. This Contract CANNOT BE CANCELLED ONCE WORK IS COMMENCED on the project except by mutual written Contract of the Parties. The full estimated price of the project will be charged if the Customer cancels or prevents completion of a Project once commenced.

14. Customer may not cancel this Contract without recourse for any of the following reasons: Material or supply line shortages, labor strikes, inclement weather delays, or any other reason that is reasonably beyond the Contractors Control.

15. LIMITATION OF LIABILITY: THE COMPANY'S MAXIMUM LIABILITY IN THE EVENT OF ANY DEFAULT BY IT, WARRANTY CLAIM, LAWSUIT, CLAIM, ARBITRATION, OR ANY OTHER OCCURRENCE, SHALL BE NO MORE THAN THE ESTIMATED COST (STATED ON THE ESTIMATE), WHICH YOU AGREE SHALL BE A LIQUIDATED SUM. Our representatives are available to answer any questions about Company's maximum liability. INDEMNIFICATION: You ACKNOWLEDGE AND AGREE and hereby release, indemnify, and hold the Company (including its owners, employees, and agents) harmless from and against all other liabilities, claims, causes of action, damages, losses and expenses (including attorney's fees and costs,) including by not limited to, consequential or incidental damages, any property damage or personal injury incurred by you or any other party related to or arising out of the services rendered by the Company on the Project. This indemnification extends to all responsibilities and undertaking as set forth in this Contract and all warranty exclusions as indicated in this Contract and in the warranty provided to you by the Company.

16. The Company is not responsible for prior construction problems associated with your property. If pointed out to the Company, we will attempt to assist you on correcting them on a time and material basis. The Company is not responsible for any damages related to leaks from skylights unless the Company completed the skylight replacement as part of the Project. The Company will not be held responsible for slight scratching and denting of gutters, oil droplets in driveways, hairline fractures in concrete, or minor broken branches on plants, foliage, or shrubbery, or (reasonable) ruts in the green areas. Customer understands that Company is not liable for any damage caused by any third-party vendor, such as dumpster companies or material suppliers. Customer agrees that Company is not liable for any damage that may be caused by vibrations to home during installation such as fallen pictures, cracks in drywall, and/or nail pops. The Company is not responsible for sump pump back-ups or mold, and you agree to release Company from any such liability. If there are solar panels on the roof, homeowner agrees to take all necessary steps to remove, protect, and reinstall the same; under no circumstances will the Company be responsible for damage to them during the Project. Company shall not be responsible for mismatched colors in wood or other products due to variances in stain or paint colors, wood grains, drywall patterns, or material availability.

17. PAY PER TRADE POLICY: Customer agrees to pay in full at the completion of each trade on the project. Company reserves the right to collect payment in full per trade prior to beginning on the next trade. Company Retainage Policy: Customer agrees to pay in full at the time of completion of each contract. The maximum allowable retainage for any punch-out will be 5% of original contract price. Payments are to be made: 10% down payment AND Customer agrees to our percentage of completion billing policy. Company reserves the right to bill proportionately based on percentage of work complete. Customer understands that the Company may issue a stop work order if requested progress payment is not received.

18. PHOTOGRAPHY: Customer acknowledges and grants the Contractor the right to take before and after pictures and publish them on public forums, social media, advertising, or in response to complaints on public forums, and the Contractor shall retain the rights to those images for perpetuity, whether the images are of the inside or outside of the home.

19. DISPUTES: Any dispute or claim, arising from this contract, brought by the Customer shall be settled through the arbitration procedure of the Columbus or Ohio Better Business Bureau. It is further understood that should the Customer prevent the Contractor from completing the work in this contract once started, the Contractor is relieved of any further obligation hereunder, and the Customer agrees to pay the Contractor all expenses incurred by the Contractor and Thirty percent (30%) of the contracted price as liquidated and agreed damages and NOT as penalty or forfeiture. Contractor may utilize the appropriate court for breach or non-payment, including ending any arbitration in favor of litigation in the appropriate court and jurisdiction.

20. REVIEWS: Client shall not post or cause a third party to post false negative reviews on any public forum. Customer will be responsible for attorney fees, costs, and liquidated damages in the amount of \$500 per false negative review on any public forum. By acknowledging these terms and conditions you agree to be responsible for said costs and liquidated damages for false reviews on public forums.

21. The Company's failure to enforce any right under this Contract shall not be construed as a waiver of any subsequent right to enforce the same or any other right, term or condition. If any provisions of this Contract should be held invalid or unenforceable, the validity and enforceability of the remaining provisions shall not be affected thereby.

22. ANY PERSON, COMPANY, OR ENTITY SUPPLYING LABOR OR MATERIALS FOR THIS IMPROVEMENT TO YOUR PROPERTY MAY FILE A LIEN AGAINST YOUR PROPERTY IF THAT PERSON OR COMPANY IS NOT PAID FOR THEIR CONTRIBUTIONS.

23. ANY REPRESENTATIONS, STATEMENTS, OR OTHER COMMUNICATIONS NOT WRITTEN ON THIS CONTRACT ARE AGREED TO BE IMMATERIAL and NOT part of this Contract, not relied upon by either party, and do not survive the execution (Signing) of this Contract. This Contract may not be amended, modified, or otherwise changed except by a writing executed by the Parties. If any provision of this Contract should be held to be invalid or unenforceable, the validity and enforceability of the remaining provisions of this contract shall not be affected thereby.

e-Signed by Deshon and Alphan Powell

05/15/2022

Customer Acknowledgement of Terms and Conditions: _____

Date: _____

Customer Acknowledgement of Terms and Conditions: _____

Date: _____



CLASSIC EXTERIORS, INC

NOTICE OF CANCELLATION

ENTER DATE OF TRANSACTION

05/15/2022

YOU MAY CANCEL THIS TRANSACTION, WITHOUT ANY PENALTY OR OBLIGATION, WITHIN THREE (3) BUSINESS DAYS FROM THE ABOVE DATE. IF YOU CANCEL, ANY PROPERTY TRADED IN, ANY PAYMENTS MADE BY YOU UNDER THE CONTRACT OR SALE, AND ANY NEGOTIABLE INSTRUMENT EXECUTED BY YOU WILL BE RETURNED WITHIN TEN (10) BUSINESS DAYS FOLLOWING RECEIPT BY THE SELLER OF YOUR CANCELLATION NOTICE, AND ANY SECURITY INTEREST ARISING OUT OF THE TRANSACTION WILL BE CANCELLED. IF YOU CANCEL, YOU MUST MAKE AVAILABLE TO THE SELLER AT YOUR RESIDENCE, IN SUBSTANTIALLY AS GOOD CONDITION AS WHEN RECEIVED, ANY GOODS DELIVERED TO YOU UNDER THIS CONTRACT OR SALE; OR YOU MAY IF YOU WISH, COMPLY WITH THE INSTRUCTIONS OF THE SELLER REGARDING THE RETURN SHIPMENT OF THE GOODS AT THE SELLER'S EXPENSE AND RISK.

IF YOU DO MAKE THE GOODS AVAILABLE TO THE SELLER AND THE SELLER DOES NOT PICK THEM UP WITHIN TWENTY (20) DAYS OF THE DATE OF YOUR NOTICE OF CANCELLATION, YOU MAY RETAIN OR DISPOSE OF THE GOODS WITHOUT ANY FURTHER OBLIGATION. IF YOU FAIL TO MAKE THE GOODS AVAILABLE TO THE SELLER, OR IF YOU AGREE TO RETURN THE GOODS TO THE SELLER AND FAIL TO DO SO, THEN YOU REMAIN LIABLE FOR PERFORMANCE OF ALL OBLIGATIONS UNDER THE CONTRACT/ TO CANCEL THIS TRANSACTION. MAIL OR DELIVER A SIGNED AND DATED COPY OF THIS CANCELLATION NOTICE OR ANY OTHER WRITTEN NOTICE, OR SEND A TELEGRAM TO: CLASSIC EXTERIORS, INC 5900 ROCHE DR, SUITE 310-A COLUMBUS, OHIO 43229 NO LATER THAN MIDNIGHT OF 05/18/2022 (DATE)

I HEREBY CANCEL THIS TRANSACTION

(DATE)

(BUYER'S SIGNATURE)

ACKNOWLEDGMENT

I ACKNOWLEDGE THAT I HAVE RECEIVED TWO (2) COMPLETED COPIES OF THIS NOTICE OF CANCELLATION.

05/15/2022

(DATE)

e-Signed by  Florian Powell

(BUYER'S SIGNATURE)

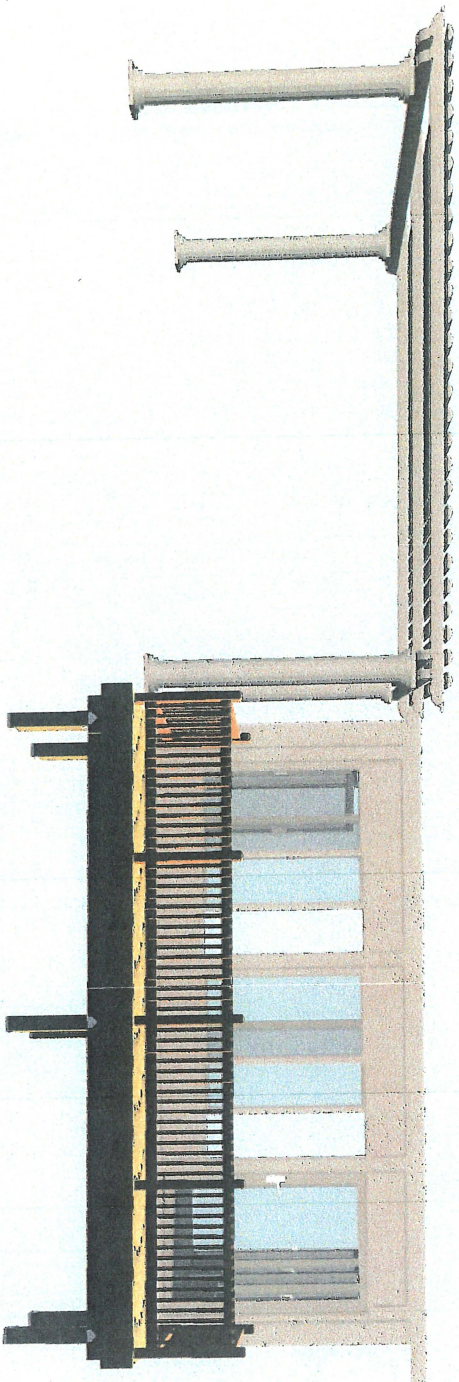
I ACKNOWLEDGE THAT I HAVE RECEIVED TWO (2) COMPLETED COPIES OF THIS NOTICE OF CANCELLATION.

(DATE)

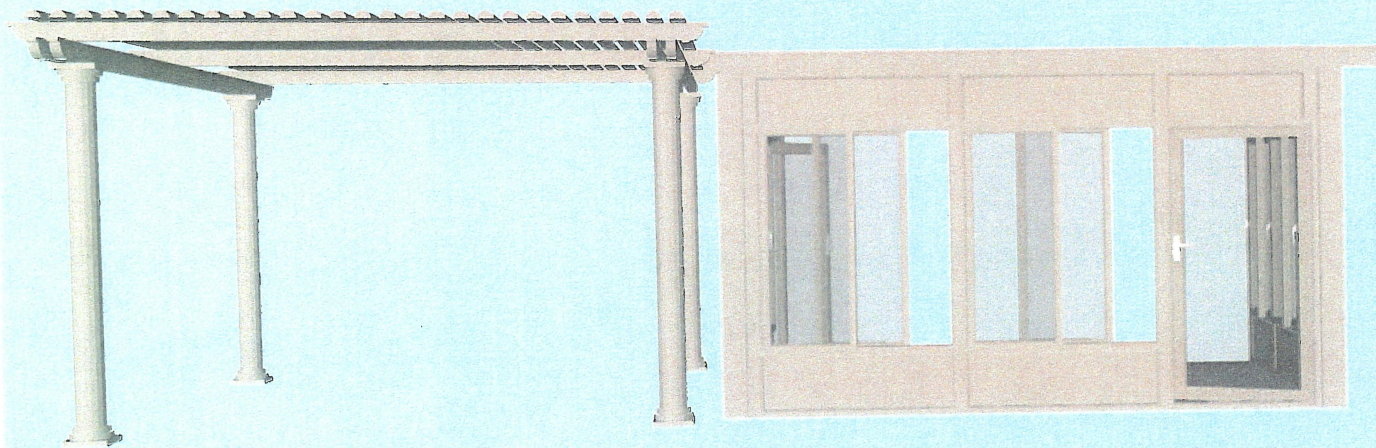
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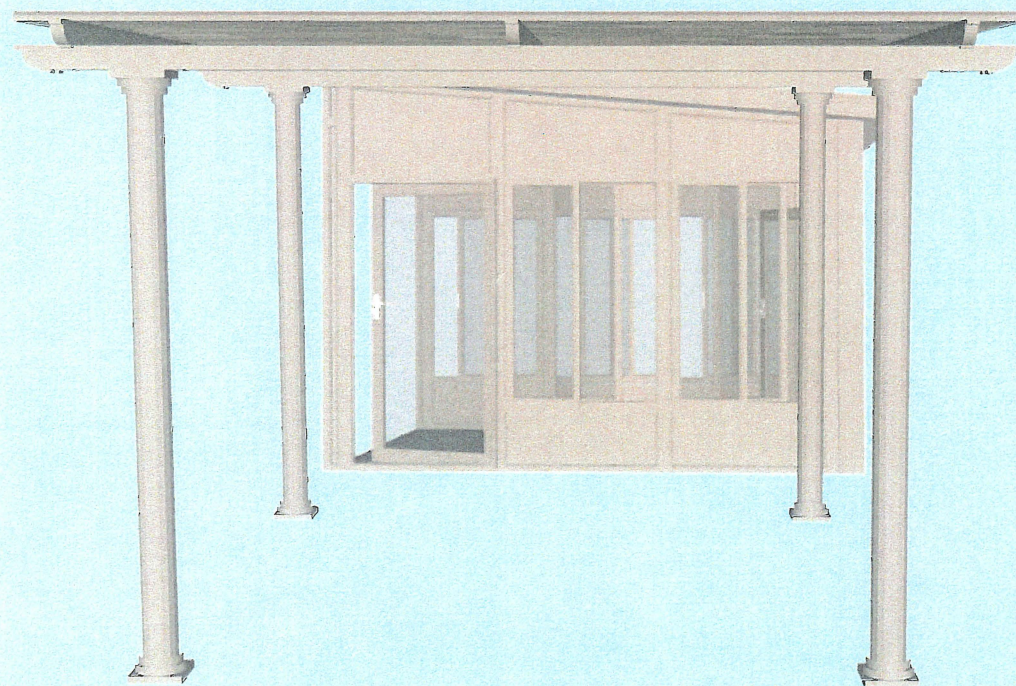




TENMO
sunrooms
"Every Day is a Vacation"

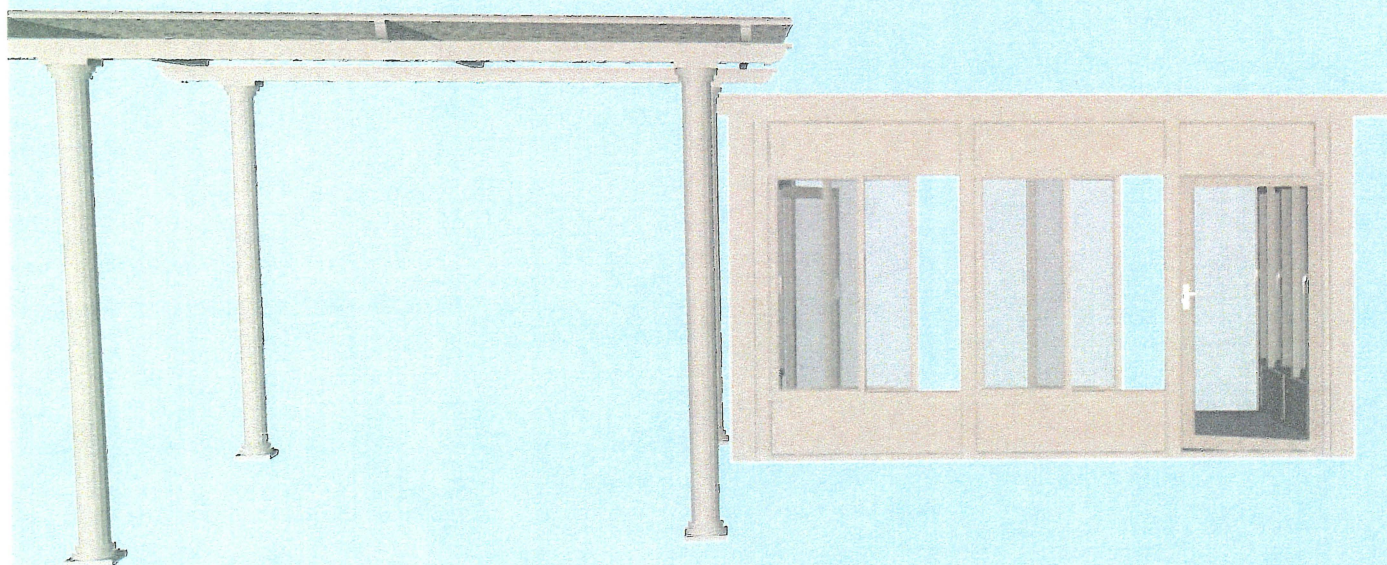


TEMO
sunrooms
"Every Day is a Vacation"



TEMO
sunrooms

"Every Day is a Vacation"



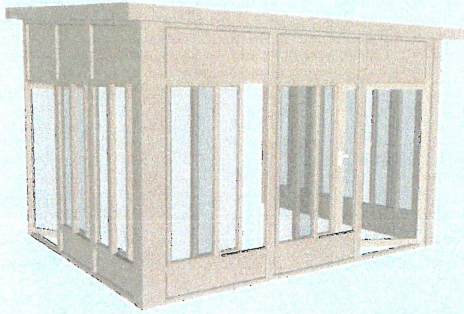
TEMO
sunrooms

"Every Day is a Vacation"

2:09 PM Wed May 4

all LTE 87%

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TEMO
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"Every Day is a Vacation"

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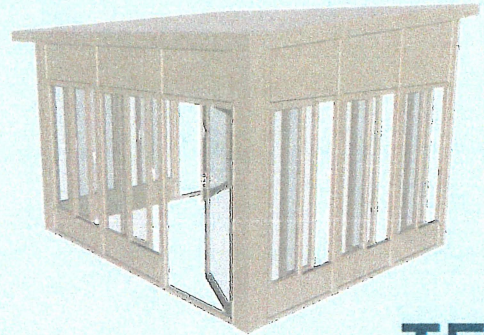
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TEMO
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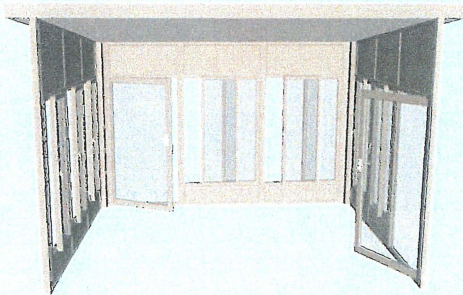
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TEMO
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"Every Day is a Vacation"

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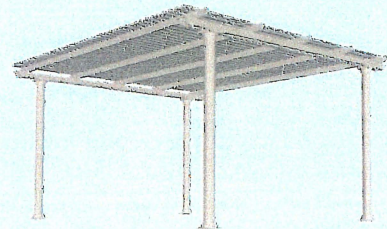
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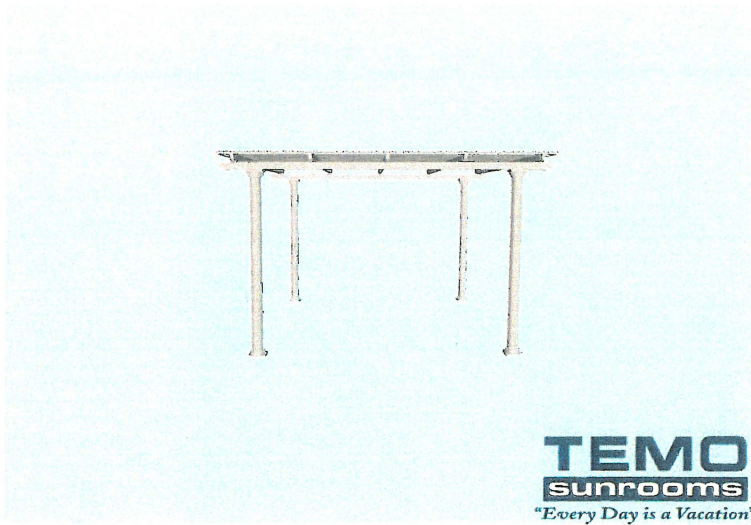


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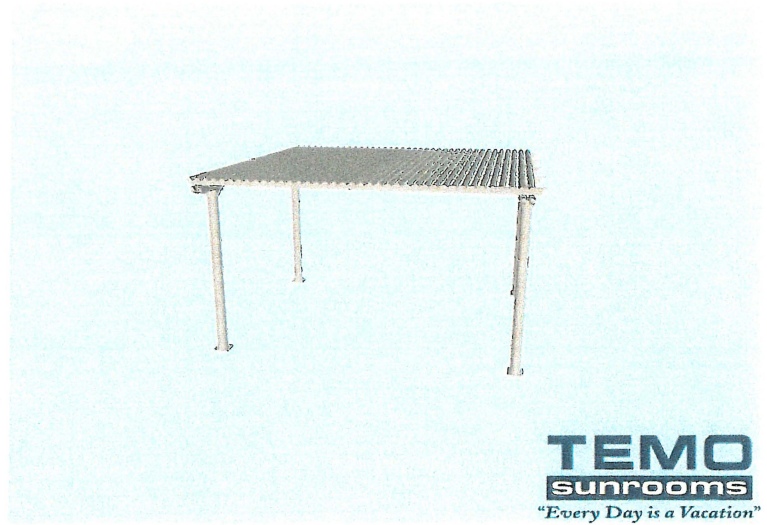
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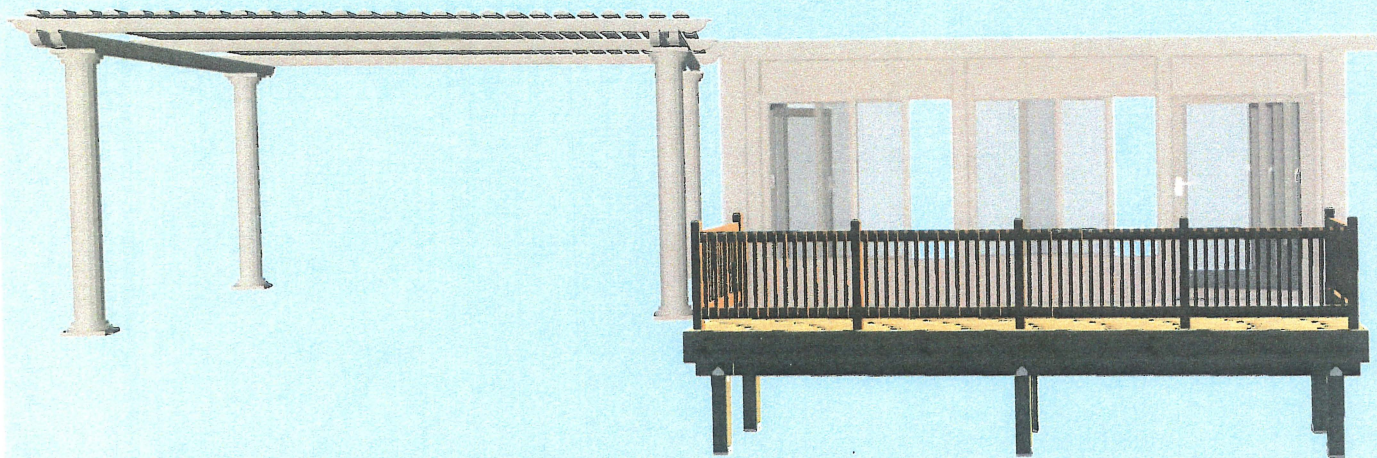


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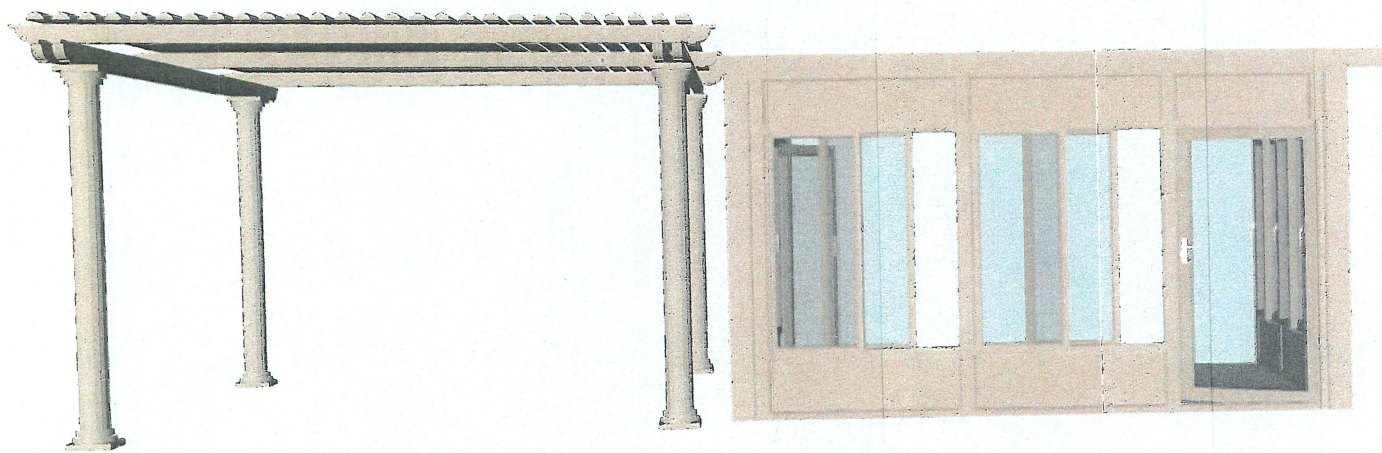
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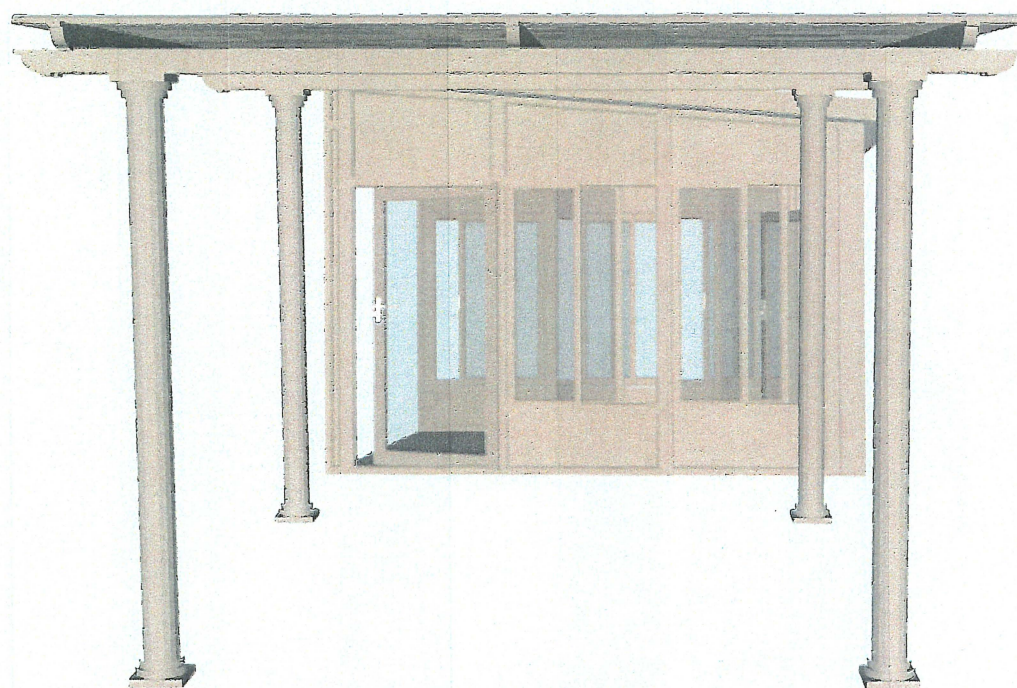
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TEMO
sunrooms
"Every Day is a Vacation"



TEMO
sunrooms
"Every Day is a Vacation"



TEMO
sunrooms
"Every Day is a Vacation"

BAUER, DAVIDSON & MERCHANT, INC.

CONSULTING ENGINEERS

255 GREEN MEADOWS DRIVE SOUTH

P.O. BOX 370

POWELL OHIO 43065

PLOT AND GRADING PLAN

LOT NO. 3403

CABINET 2

SLOT 109

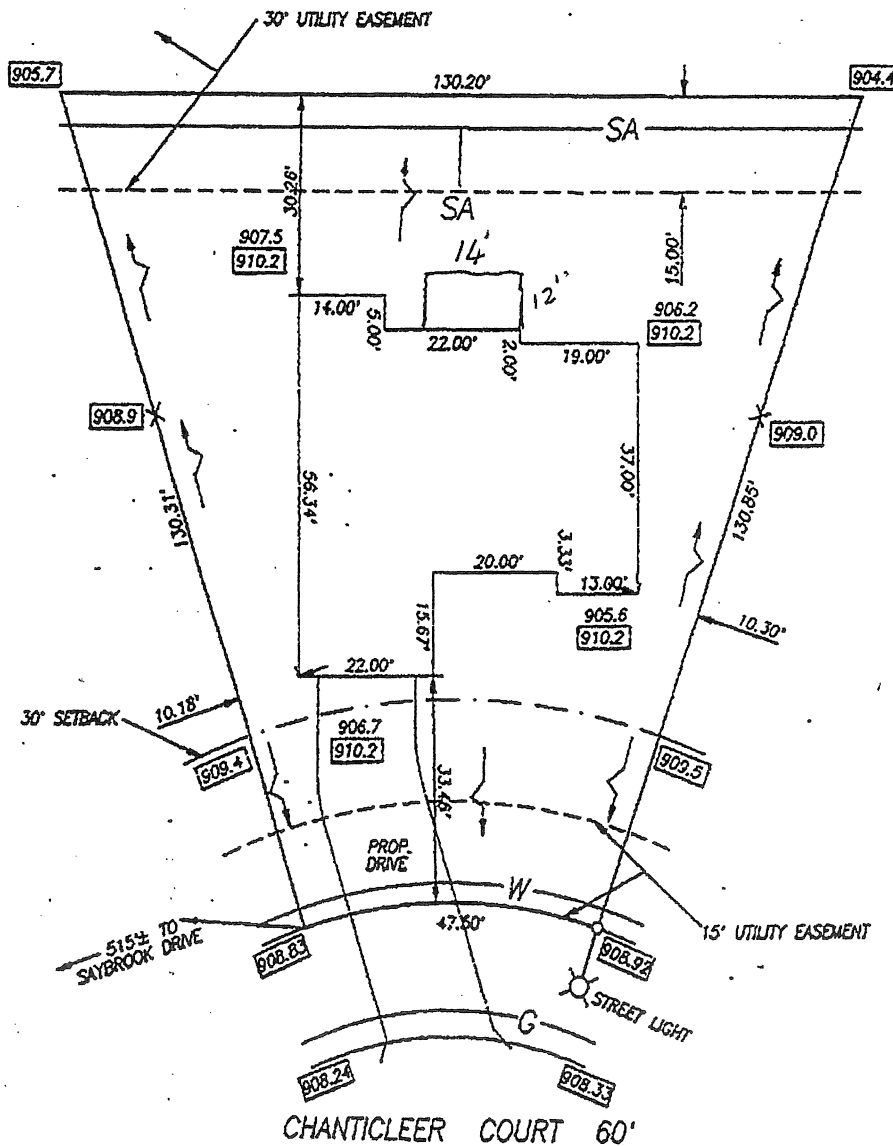
MARCH 3, 1999

HARVEST WIND PH.2

GENOA TOWNSHIP

DELAWARE COUNTY, OHIO

SCALE : 1"=20'



This plot is prepared for the local building department's use and is not to be construed as having been prepared for the owner or for the use of the owner for any purpose.

We have determined that this lot lies within the limits of Flood Zone _____ as shown on the Flood Insurance Rate Map for _____, Ohio. Community _____

Panel Number _____ Effective Date _____

COMPUTED BY 99/41999/41999C

REV. 5-4-99 REV. 5-13-99

SURV'D	DRAWN	CHECKED
	S.S.	

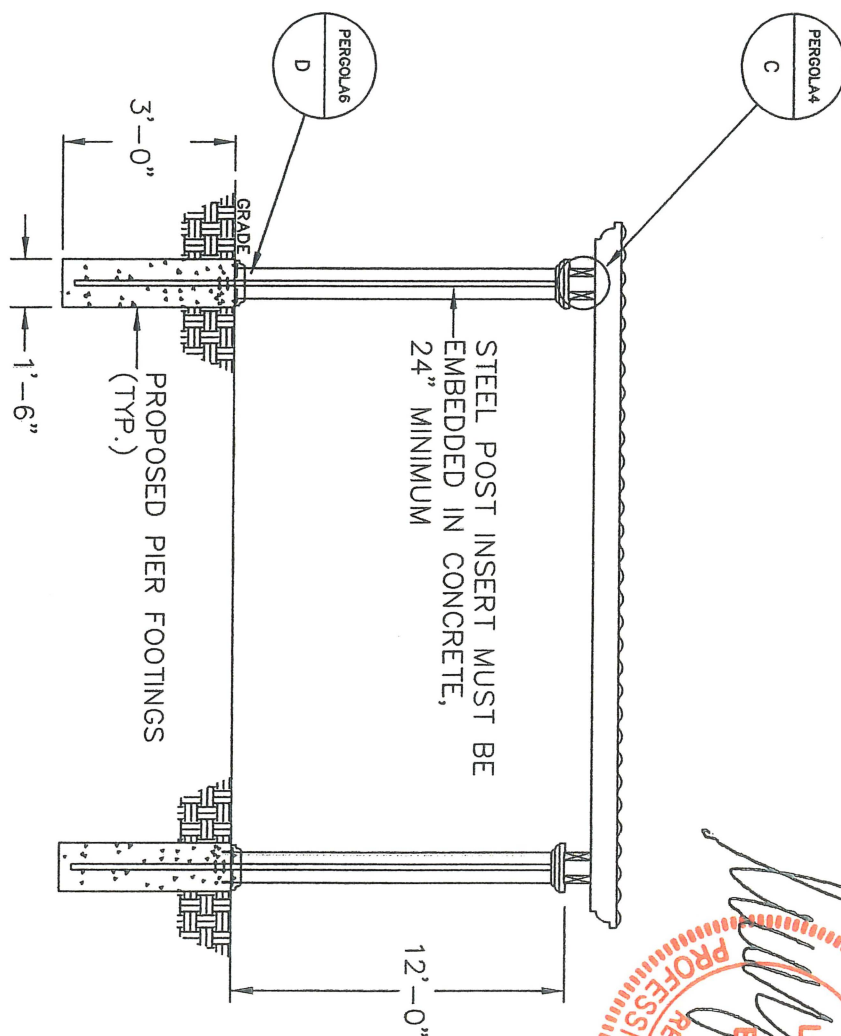
Order No. 419-99

MANCINI BUILDERS

** TOTAL PAGE.001 **

GENOA TOWNSHIP ZONING CERTIFICATE
99-10 REVISED 11-12-99
BY MANCINI REASON ADD DECK

Today's Date: AUG 08 2022



SECTION 'A'

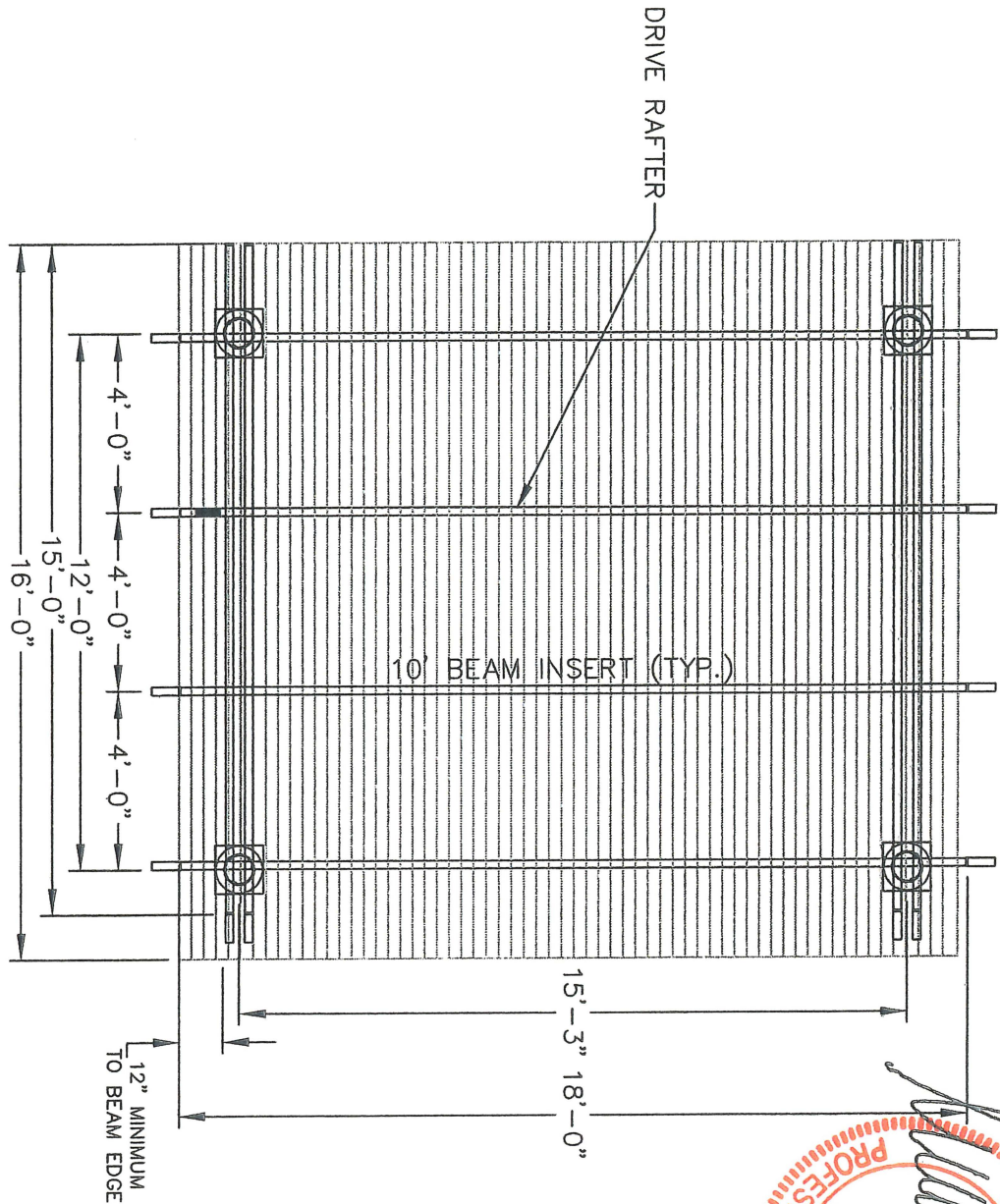
ROOF LOAD: 20 P.S.F.

Luay Esho
STATE OF OHIO
REGISTERED PROFESSIONAL ENGINEER
LUAY S. ESHO
E-72839
8/18/22

CONFIRMATION: 05/19/22

DEALER: CLASS-OH 22W2379 PH. ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (586) 286-0410 FAX: (586) 314-0404	LUAY ESHO, P.E. 20400 HALL RD. CLINTON TWP. MI, 48038 PH: (800) 344-8366 PROFESSIONAL ENGINEER OH Lic. #E-72839
POWELL, DESHON 6630 CHANTICLEER CT WESTERVILLE, OH 43082		
DRAWN BY: ZACH RUGENSTEIN DATE: 05/06/22	SCALE: NONE	

FREE-STANDING OPERABLE PERGOLA FLOOR PLAN



Luay Esho
 STATE OF OHIO
 LUAY S. ESHO
 E-2839
 REGISTERED PROFESSIONAL ENGINEER

CONFIRMATION: 05/19/22

DEALER: CLASS-OH 22W2379 PH. ()

POWELL, DESHON

6630 CHANTICLEER CT
 WESTERVILLE, OH 43082

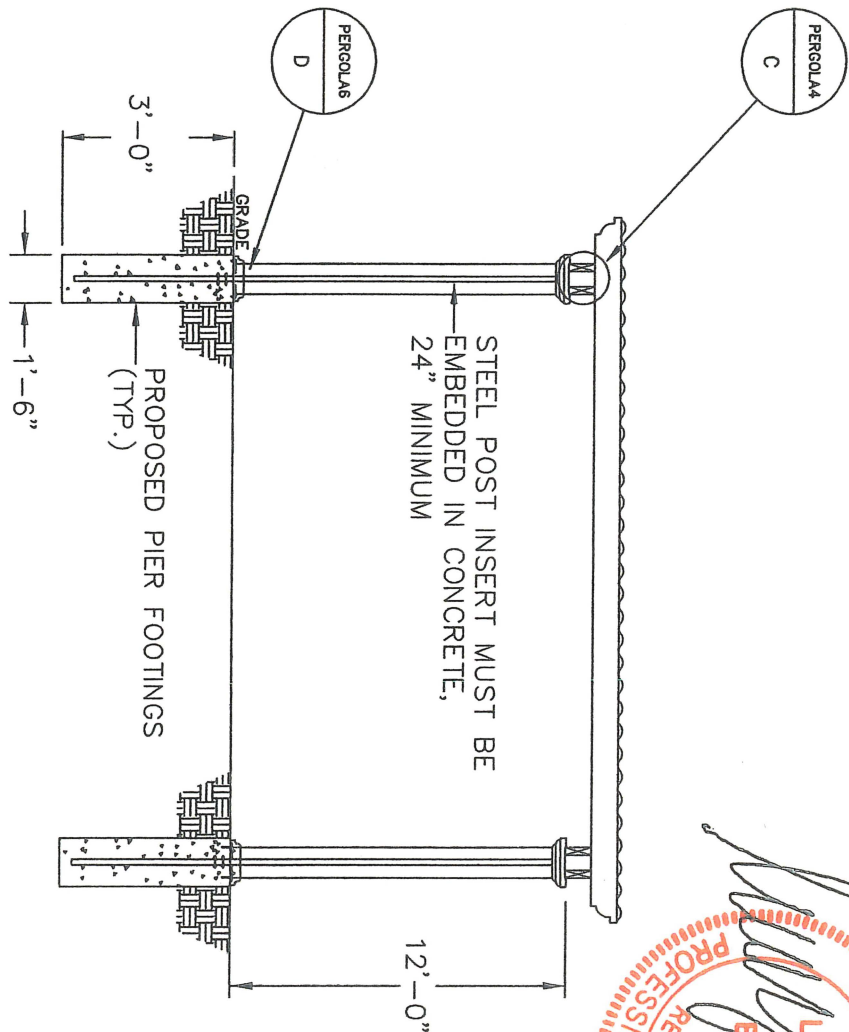
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TEMO SUNROOMS, INC.

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LUAY ESHO, P.E.
 20400 HALL RD.
 CLINTON TWP, MI, 48038
 PH: (800) 344-8366
 PROFESSIONAL ENGINEER
 OH Lic. #E-72839

Today's Date: AUG 08 2022



SECTION 'A'

ROOF LOAD: 20 P.S.F.



CONFIRMATION: 05/19/22

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SPECIFICATIONS FOR OPERABLE PERGOLA

PAGE NUMBER
COVER SHEET

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PERGOLA2
PERGOLA3
PERGOLA4
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FLOOR PLANS and ELEVATIONS FOR FREE-STANDING
MAXIMUM RAFTER and BEAM SPANS
CONNECTION DETAILS
WALL ATTACHMENT DETAILS
FOOTING DETAILS
CROSS SECTIONS

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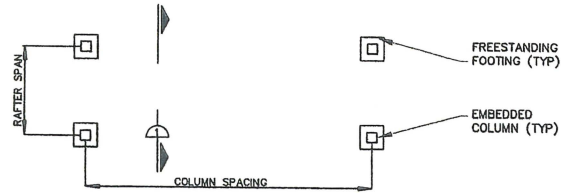
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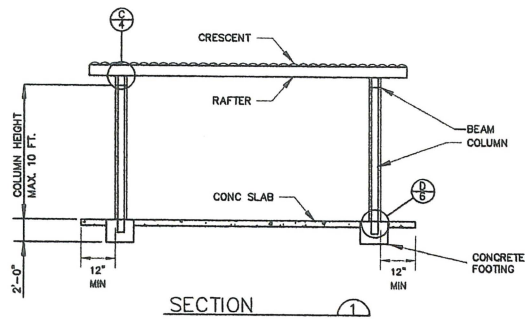
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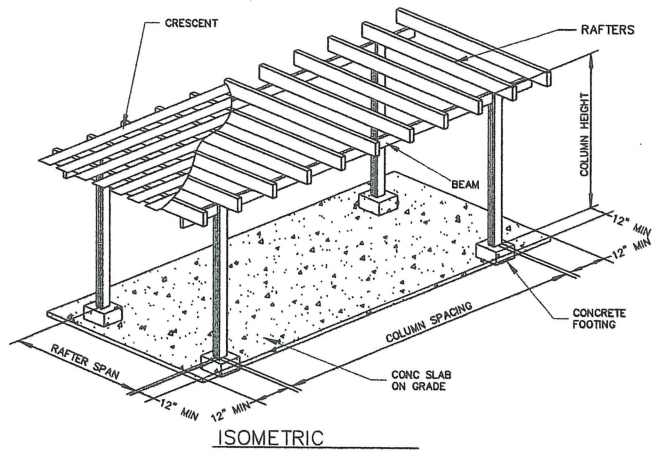


FOUNDATION PLAN

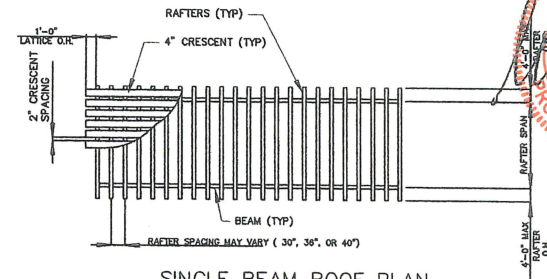
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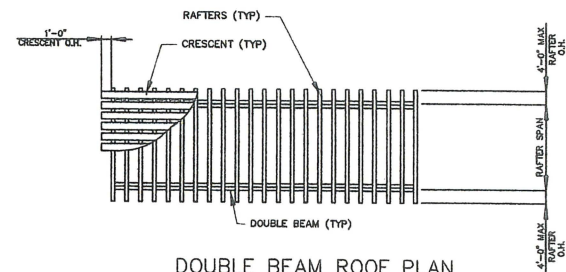
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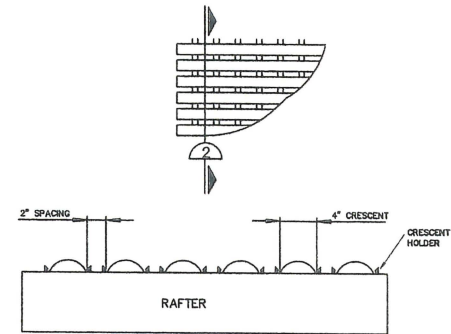
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SINGLE BEAM ROOF PLAN



DOUBLE BEAM ROOF PLAN



CROSS SECTION 2
RAFTER AND LATTICE



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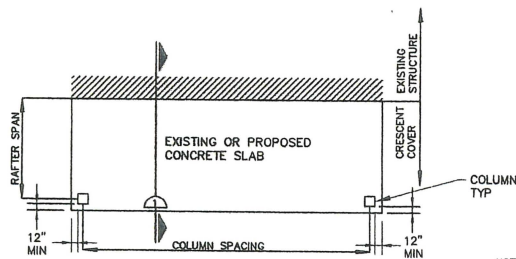
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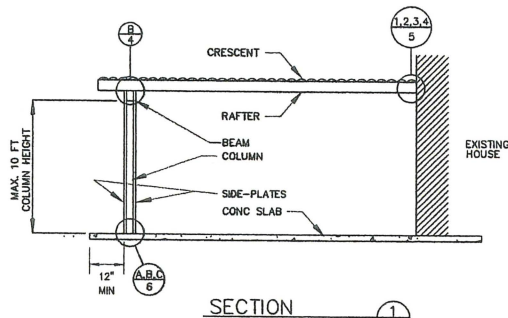
FLOOR PLANS AND
ELEVATIONS FOR
FREE-STANDING

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OH Lic. #C-72839
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FILE NAME:
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2 OF 7

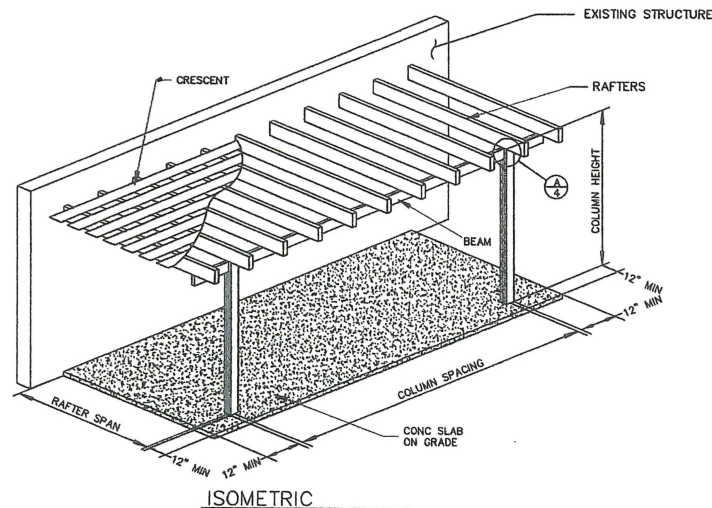


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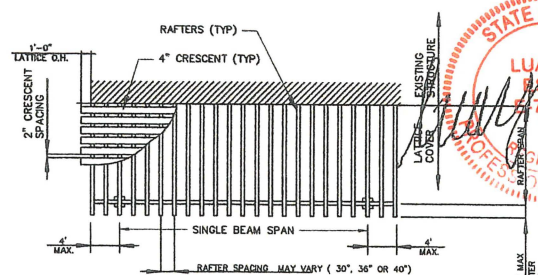
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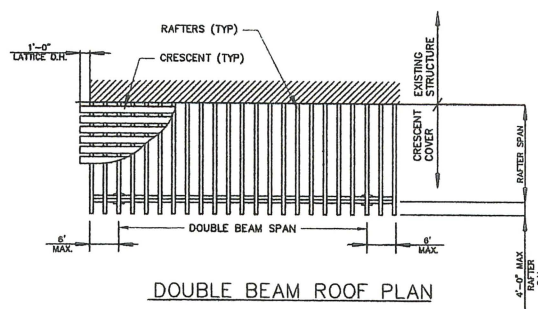
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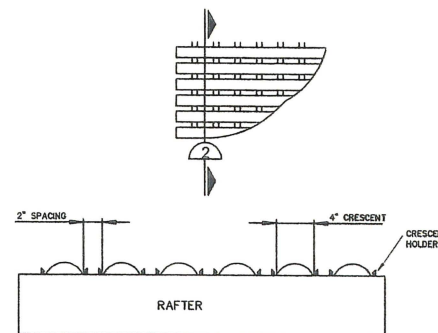
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SINGLE BEAM ROOF PLAN



DOUBLE BEAM ROOF PLAN



CROSS SECTION 2
RAFTER AND LATTICE



GENERAL NOTES AND SPECIFICATIONS:

- DESIGN LOADS: SEE TABLES FOR DESIGN LOADS AS SPECIFIED PER THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL BUILDING CODE.
- FASTENERS: SCREWS SHALL BE SIZES SHOWN AND SHALL BE STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL OR 2024-T4 ALUMINUM.
- ALL STRUCTURAL COMPONENTS OF THIS SYSTEM ARE OF ALLOY & TEMPER 6063-T6 UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL EXTERIOR PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CAULKED.
- THE BEARING SYSTEM MULLIONS HAVE BEEN DESIGNED FOR LOAD COMBINATIONS REQUIRED BY THE 2018 INTERNATIONAL RESIDENTIAL CODE AND 2018 INTERNATIONAL BUILDING CODE.
- ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER CODE.
- EXPANSION ANCHORS SHALL BE ZINC PLATED CARBON STEEL. EXPANSION ANCHORS SHALL BE "HILTI KWIK BOLT" ESR-1917, "TRU-FAST ZAMAC NAILIN", TAPCON FASTENERS OR EQUIVALENT. WOOD SHALL BE 1/4" BY 3" GALVANIZED LAG BOLTS. SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED ANCHORS.
- LATTICE TYPE STRUCTURES SHALL NOT BE COVERED WITH ANY TYPE OF SOLID MATERIAL.
- WIND LOADS: STRUCTURES HAVE NOT BEEN DESIGNED FOR WIND SPEED - UP EFFECTS AT ISOLATED HILLS, RIDGES OR ESCARPMENTS. STRUCTURES EXPOSED TO THESE TYPES OF LOADING ARE OUTSIDE THE SCOPE OF THIS PLAN AND SHALL REQUIRE "SPECIAL ENGINEERING".
- SNOW LOADS: STRUCTURE ROOFS HAVE NOT BEEN DESIGNED FOR LOCALIZED SNOW LOADS SUCH AS:
 - LOADS FROM SNOW DRIFTS THAT FORM IN THE WIND SHADOW.
 - SNOW THAT FORMS DRIFTS FROM A HIGHER ROOF OR, WITH THE WIND FROM THE OPPOSITE DIRECTION, FROM THE ROOF ON WHICH THE DRIFT IS LOCATED.
 - EXTRA LOAD CAUSED BY SNOW SLIDING OFF A SLOPED ROOF ONTO A LOWER ROOF; AND/OR
 - LOCATIONS SUBJECT TO RAIN-ON-SNOW SURCHARGE LOADS.
- ALUMINUM SHALL BE ALLOY AND TEMPER AS SHOWN ON DRAWINGS (6063-T6).
- ALL STEEL IN CONTACT WITH ALUMINUM SHALL BE HOT DIP GALVANIZED OR ELECTROPLATED.
- ALL HOLES DRILLED IN STEEL, EXPOSED TO WEATHER, SHALL BE PAINTED IN THE FIELD WITH A MINIMUM OF ONE COAT OF ZINC CHROMATE PRIMER.
- SHEET METAL SCREWS (SMS) SHALL BE TYPE SELF-DRILLING SCREWS.
- SHEET METAL SCREWS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN PART I-A OF THE LATEST ALUMINUM DESIGN MANUAL FOR TAPPING SCREW CONNECTIONS.
- WHERE SUPPORT PROVIDED BY A CONCRETE SLAB IS PERMITTED BY CODE, THE CONCRETE SLAB (NEW OR EXISTING) SHALL BE IN GOOD SOUND CONDITION, MEANING THE SLAB WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI, HAVE NO EVIDENCE OF EXTENSIVE CRACKING, WATER SEEPAGE, OR UNSTABLE FOUNDATION CHARACTERISTICS AND HAVE A MINIMUM THICKNESS OF 3.5 INCHES.
- WHERE A NEW SLAB AND/OR FOUNDATION IS INSTALLED, SUB-GRADE SHALL BE NON-EXPANSIVE SOIL & SHALL BE COMPACTED BEFORE INSTALLATION OF SLAB/FOUNDATION.
- MAXIMUM DIMENSION IS 25.5' X 15', STRUCTURAL CALCULATIONS MUST BE SUBMITTED FOR A LARGER PERGOLA.
- IN THE CASE OF A STUCCO FINISHED WALL, USE 2-5/8" X 3" LAG BOLTS TO ATTACH THE WALL BRACKET TO THE EXISTING HOUSE WALL.

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FLOOR PLANS &
ELEVATIONS FOR
HOUSE ATTACHMENT

DATE: MAY 10, 2022
LUAY ESHO, PE
20400 HALL RD
CLINTON TWP, MI 48038
PH: (800) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #C-72839
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CUSTOMER:
CLASS-01
FILE NAME:
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SHT. NO.:
PERGOLA1
1 OF 7

MAXIMUM RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN DETERMINATION TABLE A-F

1. DETERMINE DESIRED RAFTER SPACING IN TABLES A - F (FIRST COLUMN, THIRD ROW).
2. LOCATE THE REQUIRED LOAD ACCORDING TO YOUR LOCAL CODE IN THE SECOND ROW.
3. COMPARE WIND PRESSURE WITH ROOF LOAD AND LOCATE THE HIGHER ONE TO DETERMINE THE MAXIMUM SPAN.
4. BY INTERSECTING COLUMN & SECOND ROW, THE VALUE IN THE INTERSECTION IS THE MAXIMUM RAFTER SPAN.
5. FOLLOW THE SAME STEPS TO GET THE VALUE FOR SINGLE BEAM AND DOUBLE BEAM (FOURTH AND FIFTH ROWS).
6. LOCATE THE WIND SPEED AND EXPOSURE TO DETERMINE WIND PRESSURE (TABLE F).

TABLE "A": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 36"	17'-0"	15'-0"	13'-0"	11'-9"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	11'-6"	10'-6"	9'-1"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-6"	14'-6"	13'-0"	12'-3"

TABLE "B": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 48"	17'-0"	14'-0"	12'-0"	11'-0"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-0"	10'-9"	10'-0"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-0"	15'-0"	13'-6"	12'-6"

TABLE "C": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 60"	15'-0"	12'-0"	10'-6"	9'-6"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-0"	10'-6"	10'-0"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-6"	15'-0"	13'-6"	12'-6"

TABLE "D": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	
RAFTER SPACING 72"	14'-6"	11'-6"	10'-0"	
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-6"	11'-0"	
DOUBLE BEAM W/ 1' RAFTER OVERHANG	18'-0"	15'-0"	13'-6"	

TABLE "E": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10		
RAFTER SPACING 84"	14'-0"		
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"		
DOUBLE BEAM W/ 1' RAFTER OVERHANG	18'-6"		

TABLE "F": WIND UPLIFT PRESSURE (PSF)

WIND SPEED (MPH)	EXPOSURE B	EXPOSURE C
110	5.5	6.7
115	6.2	7.5
125	7.6	9.2
130	9.2	11.2
140	11.0	13.3
150	12.9	15.6
160	14.9	18.1

NOTE: ALL PRESSURES HAVE BEEN REDUCED BY 30% BECAUSE LATTICE IS OPEN SPACE.



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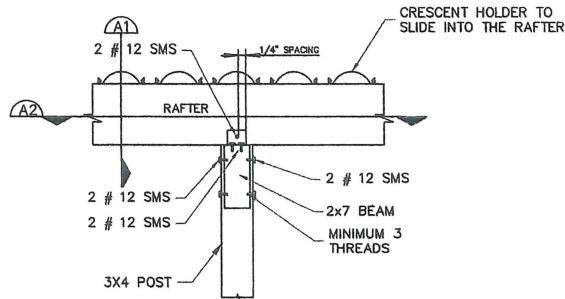
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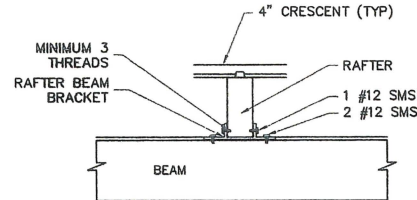
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MAXIMUM RAFTER & BEAM SPANS

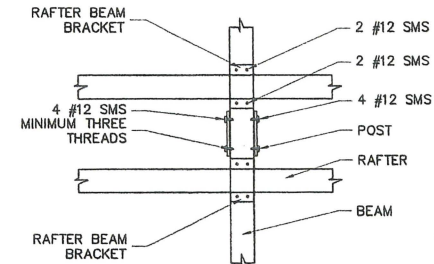
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CLAYTON TWP, MI 48038
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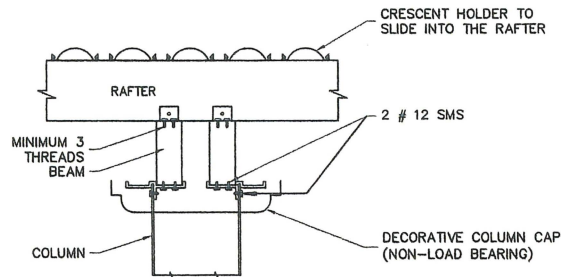
RAFTER, BEAM, AND POST CONNECTION (A)



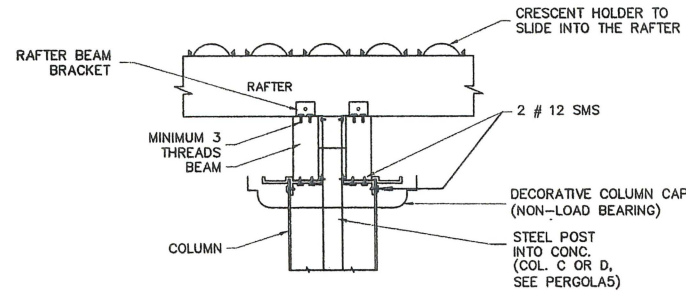
RAFTER-BEAM CONNECTION DETAIL (A1)



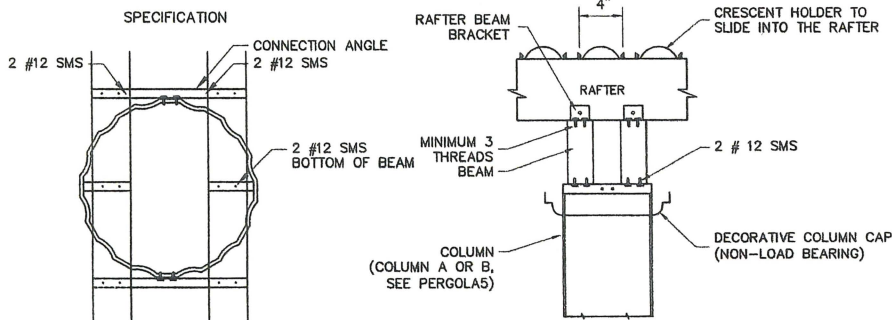
COLUMN - BEAM CONNECTION (A2)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION (B)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION WITH STEEL POST INTO CEMENT (C)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION (B1)

TOTAL NUMBER OF #12 SMS (BEAM-COLUMN, COLUMN-SHOE)	UPlift PRESSURE (PSF)						
	5.5	8	10	12.5	15	17.5	18.1
50	2	2	2	2	2	2	2
70	2	2	2	2	4	4	4
90	2	2	2	4	4	4	4
100	2	2	2	4	4	4	6
120	2	4	4	4	4	6	6
140	2	4	4	4	6		
160	2	4	4				
180	4	4	4				
200	4	4	4				

NOTE: TOTAL NUMBER OF SMS APPLIES TO ALL SECTION SINGLE BEAM AND DOUBLE BEAM.

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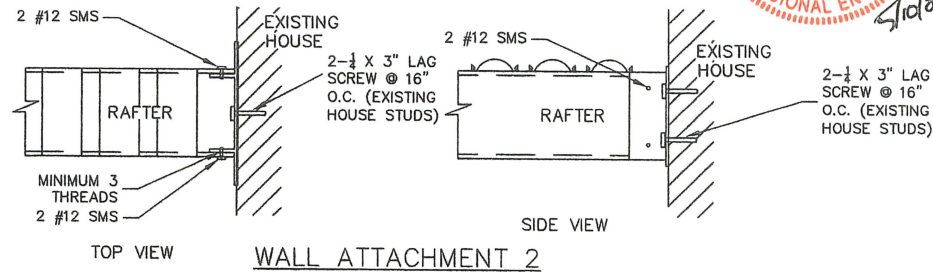
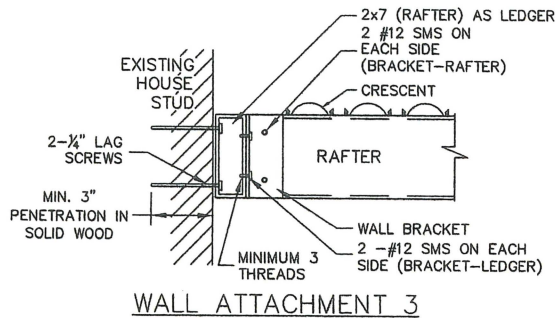
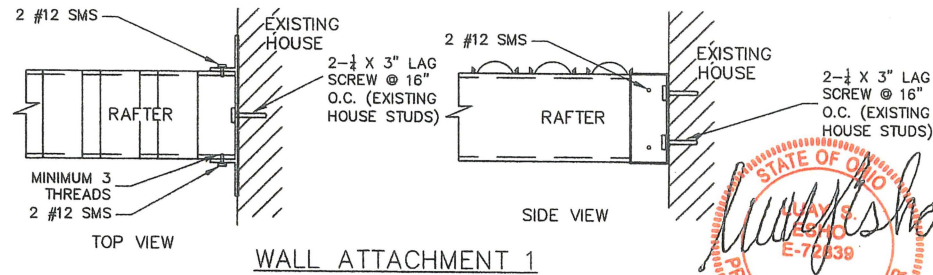
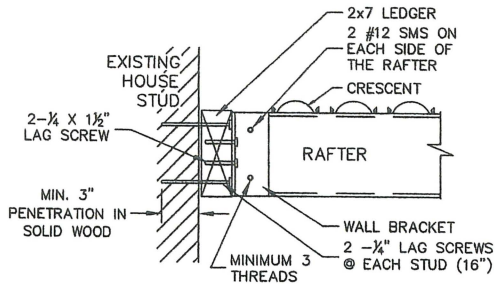
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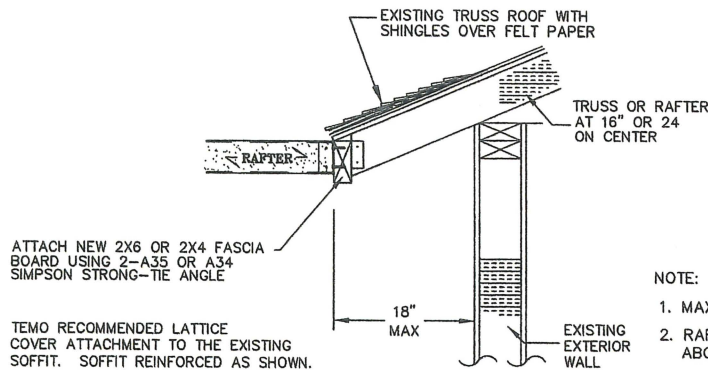
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CONNECTION DETAILS

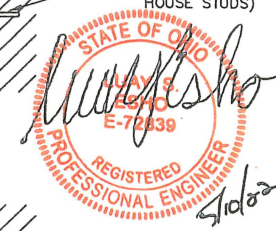
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CLINTON TWP, MI 48038
PE: (508) 344-0388
PROFESSIONAL ENGINEER
EX. Lic. #E-72839
DRAWN BY:
CUSTOMER:
CLASS: CH
FILE NAME: PERGOLA4
SHT. NO.: PERGOLA4
4 OF 7



NOTE: IN THE CASE OF A STUCCO FINISHED WALL, USE 2-3/8" X 3" LAG BOLTS TO ATTACH THE WALL BRACKET TO THE EXISTING HOUSE WALL.



- NOTE:
1. MAXIMUM PROJECTION SHALL BE 20 FT.
 2. RAFTER LEVEL SHOULD BE THE SAME OR ABOVE THE SIMPSON ANGLE LEVEL.
 3. SPECIAL ENGINEERING SHOULD BE PROVIDED WITH MORE THAN 18" OVERHANG.



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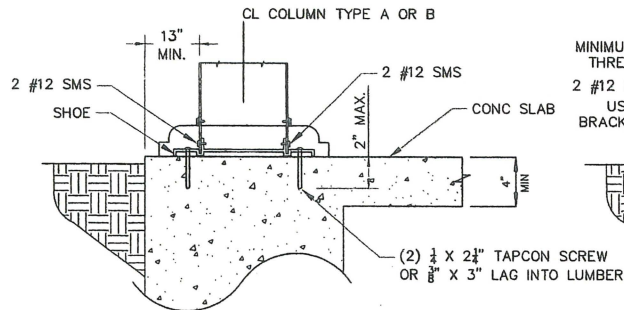
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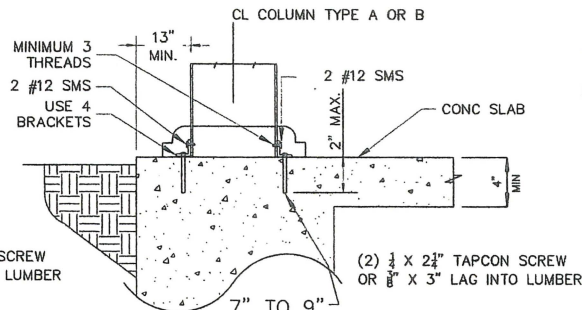
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FOOTING &
WALL ATTACHMENT
DETAILS

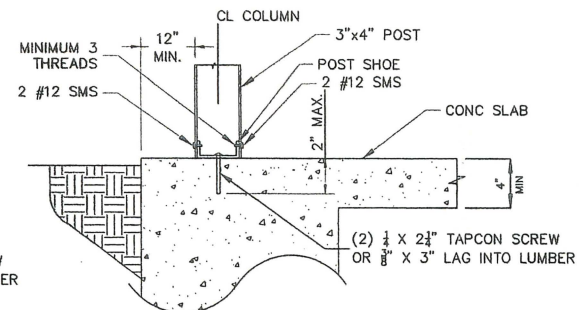
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20400 HALL RD
CLINTON TWP, MI 48038
PH (508) 344-0386
PROFESSIONAL ENGINEER
OH Lic. #E-72839
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CUSTOMER:
CLASS-CH
FILE NAME:
PERGOLAS
SHT. NO.:
PERGOLAS
5 OF 7



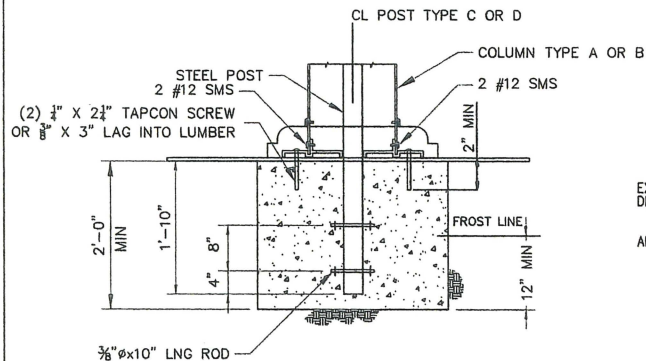
COLUMN TO SLAB or FOOTING DETAIL (A)
(ATTACHED TO HOUSE)



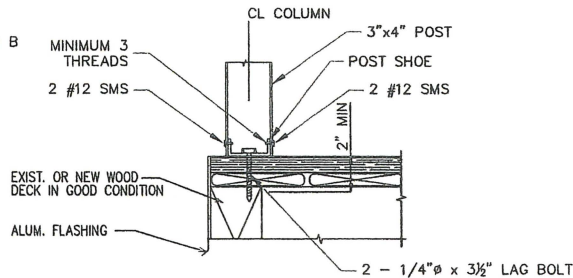
ALTERNATE COLUMN TO SLAB or FOOTING DETAIL (B)
(ATTACHED TO HOUSE)



ALTERNATE COLUMN TO SLAB or FOOTING DETAIL (C)
(POST TO SLAB)



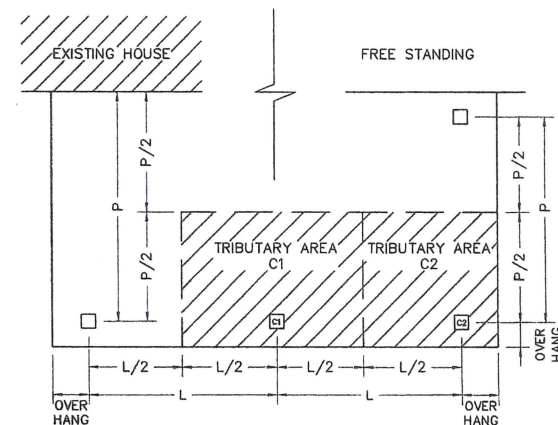
EMBEDDED POST DETAIL (D)
(FREE STANDING)



COLUMN TO DECK DETAIL (E)
(POST TO DECK)

SQUARE FOOTING DIMENSION (IN.)								
MINIMUM FOOTING DEPTH 24 IN.							FOOTING DEPTH 30 IN.	
TRIBUTARY AREA (SF)	5	8	10	12.5	15	17.5	18	20
50	14	18	21	24	24	27	27	30
75	18	21	24	27	30	33	33	36
100	21	24	27	33	36	39	39	42
125	24	27	30	36	39	42	42	45
150	27	30	33	39	42			
175	27	33	36					
200	30	36	39					

NOTE: LATTICE COVER MAY BE INSTALLED ON A GOOD CONDITION 3.5" SLAB IF THE TRIBUTARY AREA UNDER C1, C2 ARE 50, 30 Sq. Ft. WITH 90 MPH WIND SPEED.



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NOVEMBER 6, 2022

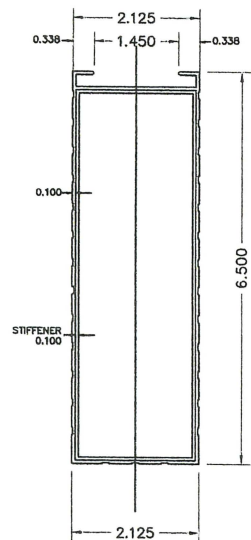
TEMO, INC. MAINTAINS THE REPORTS
LISTED ACROSS THE TOP OF THESE
PAGES. PLEASE REFER TO THE
DATE OF THE REPORT FOR THE
DATE OF ANY ADDITIONAL INFORMATION
CONCERNING THESE REPORTS.

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ENGINEER. THE SEALING OF THESE PLANS
WITH A RED INK STAMP OR AN EMBOSSED
SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.

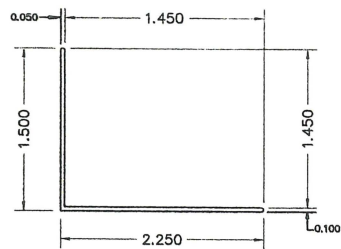
Temo inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
596-288-0410 800-344-0366

FOOTING DETAILS

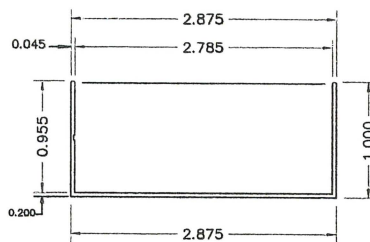
DATE: MAY 10, 2022
LARRY ESHO, PE
20400 HALL RD
CLINTON TWP, MI 48038
PH: 596-288-0366
PROFESSIONAL ENGINEER
OH Lic. #572839
DRAWN BY:
CUSTOMER: CLASS-OH
FILE NAME: PERGOLA2018
SHT. NO.: PERGOLA6
8 OF 7



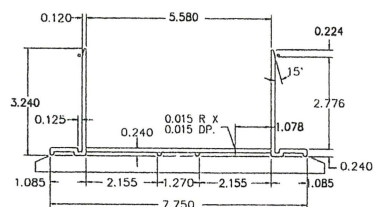
RAFTER OR BEAM



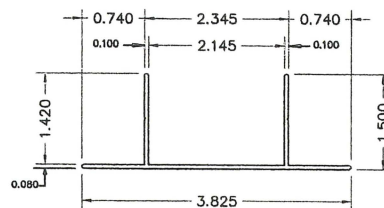
ANGLE



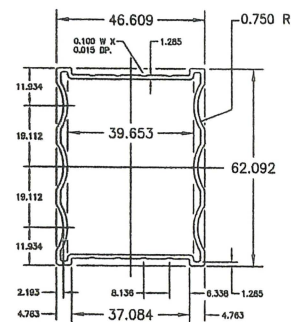
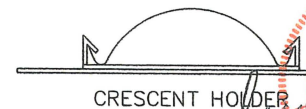
POST SHOE



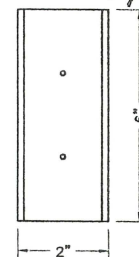
SHOE DETAIL



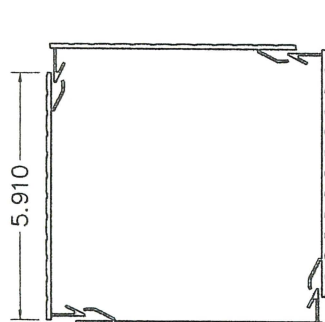
RAFTER BEAM BRACKET



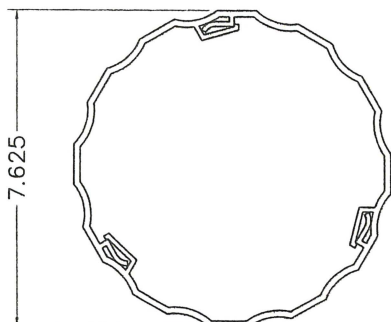
POST



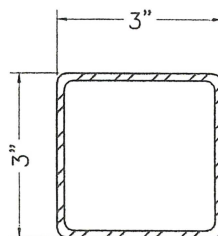
RAFTER TO HOUSE
MOUNTING BRACKET



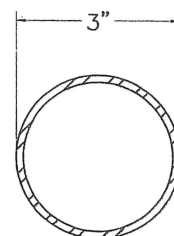
SQUARE COLUMN
SNAP CONNECTION
TYPE "A"



ROUND COLUMN
SNAP CONNECTION
TYPE "B"



SQUARE POST
TYPE "C"



ROUND POST
TYPE "D"

TYPE	THICKNESS (INCH)	MATERIAL
A	0.075	ALU. 6063-T6
B	0.060	ALU. 6063-T6
C	0.233 0.291	A653, GRADE 46 STEEL
D	0.201 0.280	A653, GRADE 36 STEEL
ALL OTHER SECTIONS ARE ALU. 6063-T6		



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THESE PLANS HAVE BEEN
REVIEWED AND APPROVED
FOR THE PROJECT DESCRIBED
HEREIN. THE ENGINEER
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FOR ANY ADDITIONAL INFORMATION
CONCERNING THESE REPORTS.

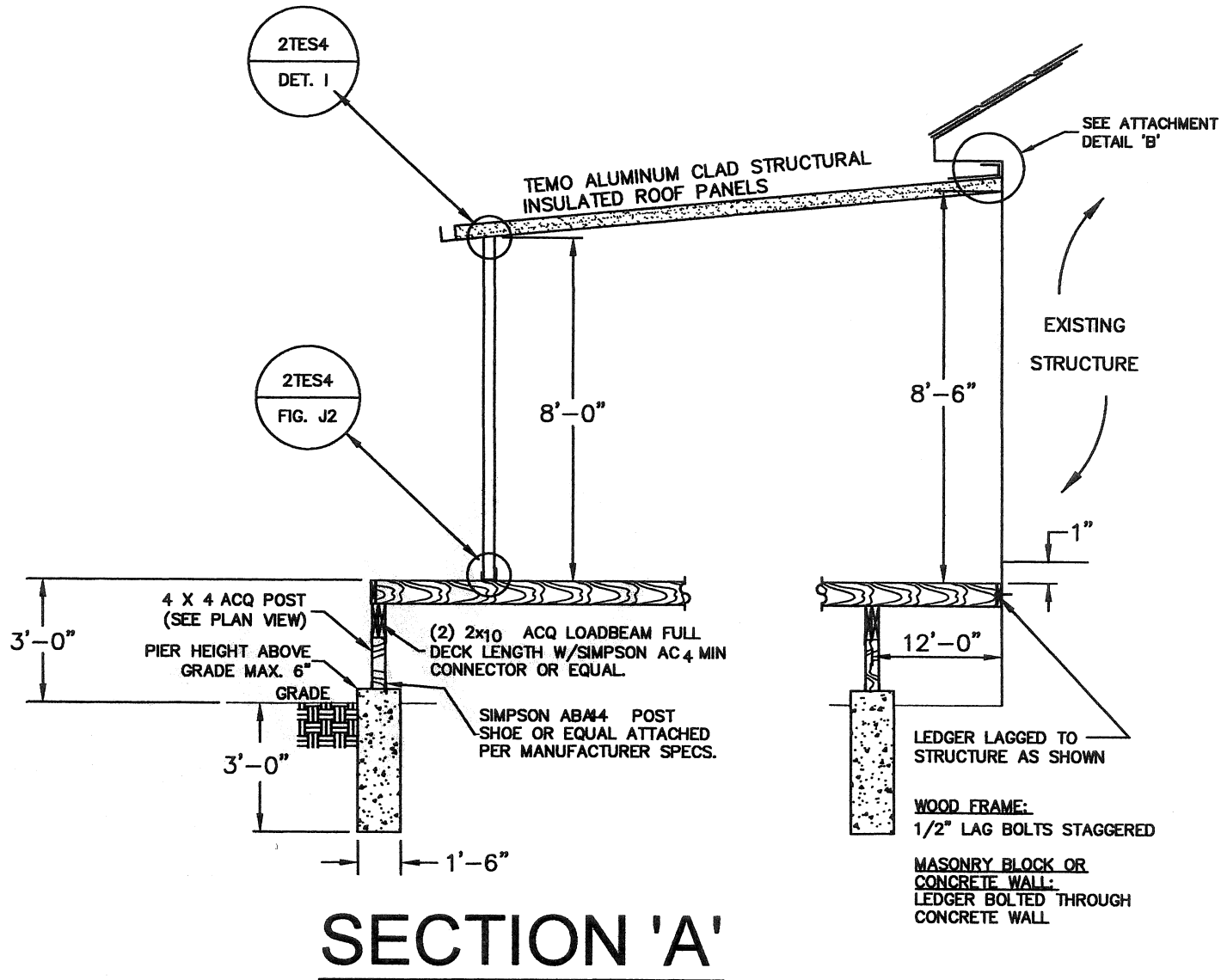
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ENGINEER. ONLY AN ORIGINAL SIGNATURE
WITH A RED INK STAMP OR AN EMBOSSED
SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.

Temo inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
586-266-0410 800-344-5366

CROSS SECTIONS

DATE: MAY 10, 2022
LUAY ESHO, PE
20400 HALL RD
CLINTON TWP, MI 48038
PH: (248) 344-5366
PROFESSIONAL ENGINEER
OH Lic. #E-2839
DRAWN BY:
CUSTOMER: CLASS-OH
FILE NAME:
PERGOLA7STIFN
SHT. NO.:
PERGOLA7STIF
7 OF 7

Today's Date: SEP 01, 2022

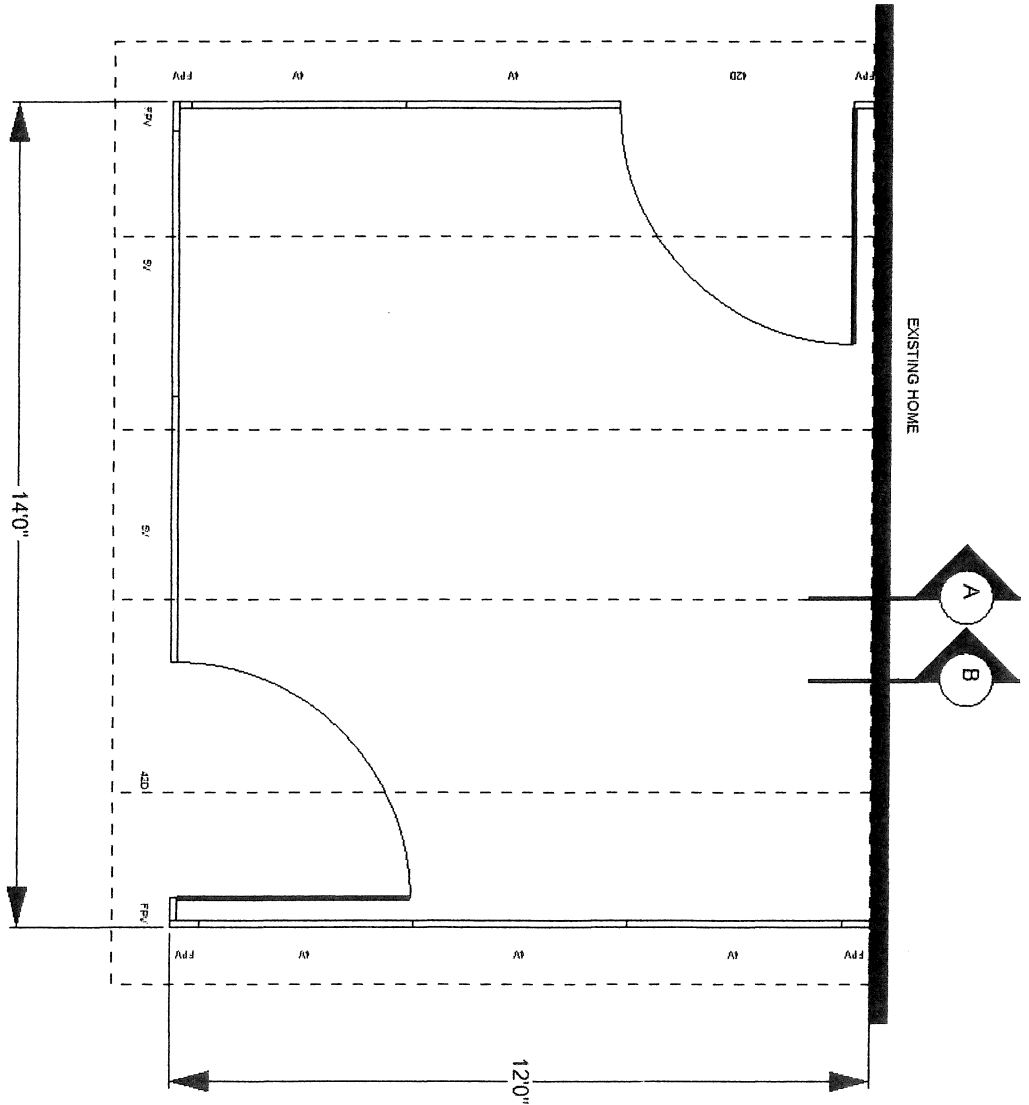


ROOF PANELS: 4 1/4", 0.024, 2#, ROOF LOAD: 30 P.S.F.

CONFIRMATION: 07/14/22

DEALER: CLASS-OH 22W2378 PH. ()	TEMO SUNROOMS, INC. 20400 HALL RD CLINTON TWP, MI 48038 PHONE: (800) 344-8366
POWELL, DESHON 6630 CHANTICLEER CT WESTERVILLE, OH 43082	
DRAWN BY: ZACH RUGENSTEIN ON: 05/08/22 SCALE: NONE	

FLOOR PLAN

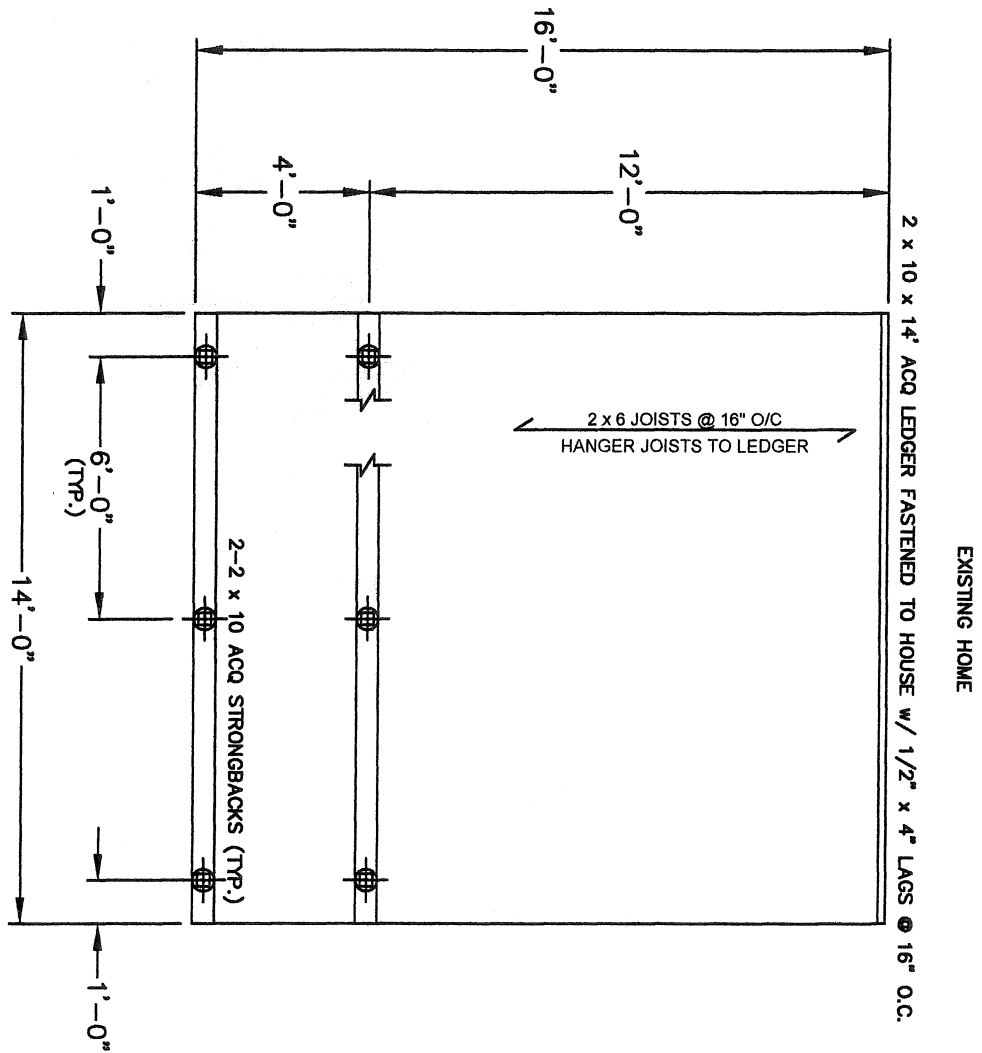


NOTE: ENCLOSURE NOT TO BE USED
AS A PERMANENT LIVING AREA

NOTE:
THE SIDE WALL ATTACHMENT
TO HOUSE IS A NON-LOAD
BEARING CONNECTION.
PROPERLY CAULK BOTH SIDES
OF ALUMINIUM EXTRUSION
AT THIS CONNECTION.

<p>Customer Deshon Powell</p>	<p>Dealer Classic Exteriors, Inc. 5900 Roche Dr. Suite 310-A Columbus, OH 43229 (614) 601-6400</p>	<p>TEMO SUNROOMS INC 20400 HALL RD CLINTON TWP. MI 48038 PHONE: (586) 286-0410 FAX: (586) 314-0404</p>
--	---	---

CONVENTIONAL WOOD DECK PLAN



LOADS:
Dead Load: 5 lb/Sq Ft
Live Load: 40 lb/Sq Ft

CONFIRMATION: 07/14/22

DEALER: CLASS-OH 22W2378 PH. ()

POWELL, DESHON

6630 CHANTICLEER CT
WESTERVILLE, OH 43082

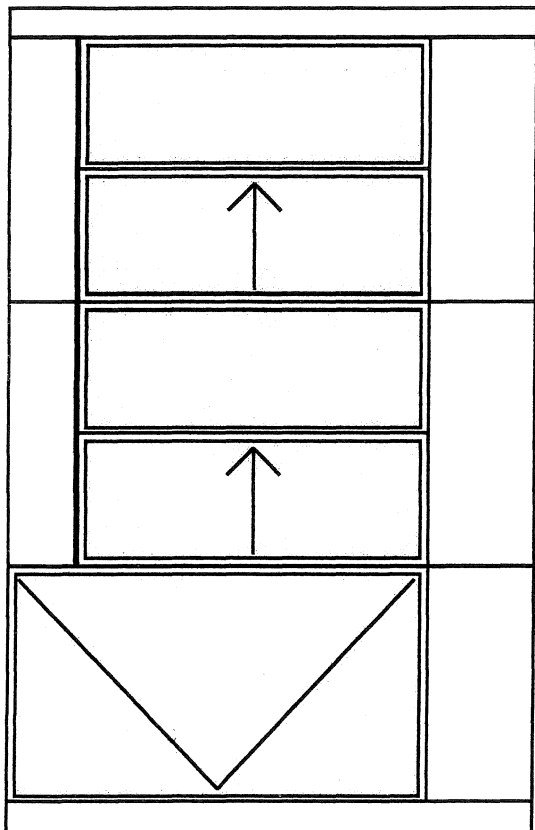
DRAWN BY: ZACH RUGENSTEIN ON: 05/06/22 SCALE: NONE

TEMO SUNROOMS, INC.

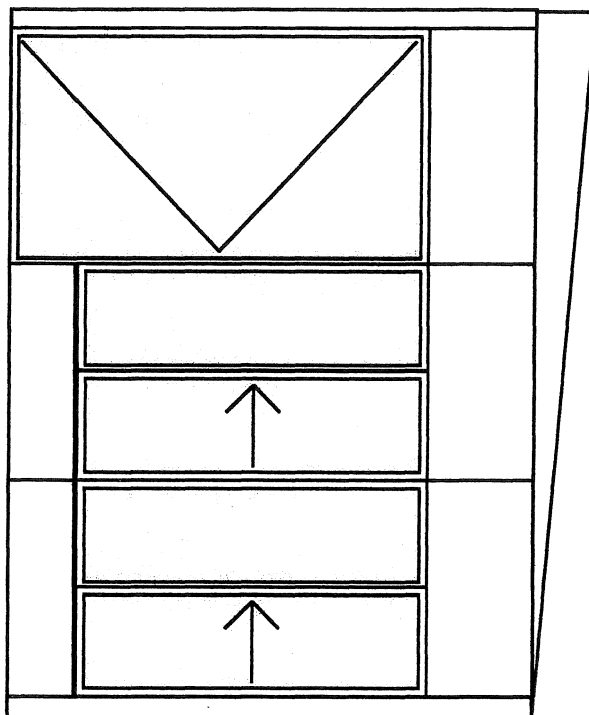
20400 HALL RD
CLINTON TWP, MI 48038
PHONE: (800) 344-8366

Width = 14'0"
Projection = 12'0"

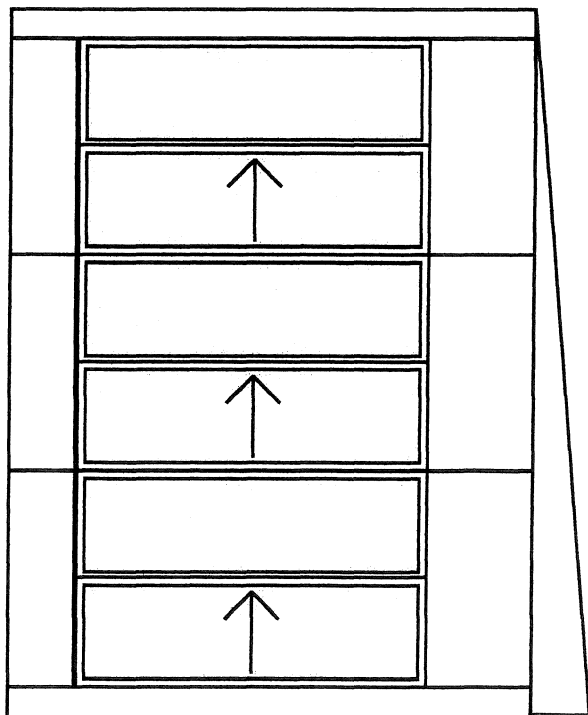
Left Wall Override = 0'0"
Right Wall Override = 0'0"



1



2

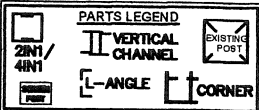


Customer
Deshon

Powell

Dealer
Classic Exteriors, Inc.
5900 Roche Dr. Suite 310-A Columbus, OH 43229
(614) 601-6400

TEMO SUNROOMS INC
20400 HALL RD
CLINTON TWP. MI 48038
PHONE: (586) 286-0410
FAX: (586) 314-0404



INSTALLER'S LAYOUT

VERIFY ALL FILL MEASUREMENTS BEFORE CUTTING

NOTICE: * DBL-CHECK BOM *
THIS JOB HAS NOT BEEN CONFIRMED.
PLEASE EMAIL AN APPROVAL WHEN READY TO ORDER.

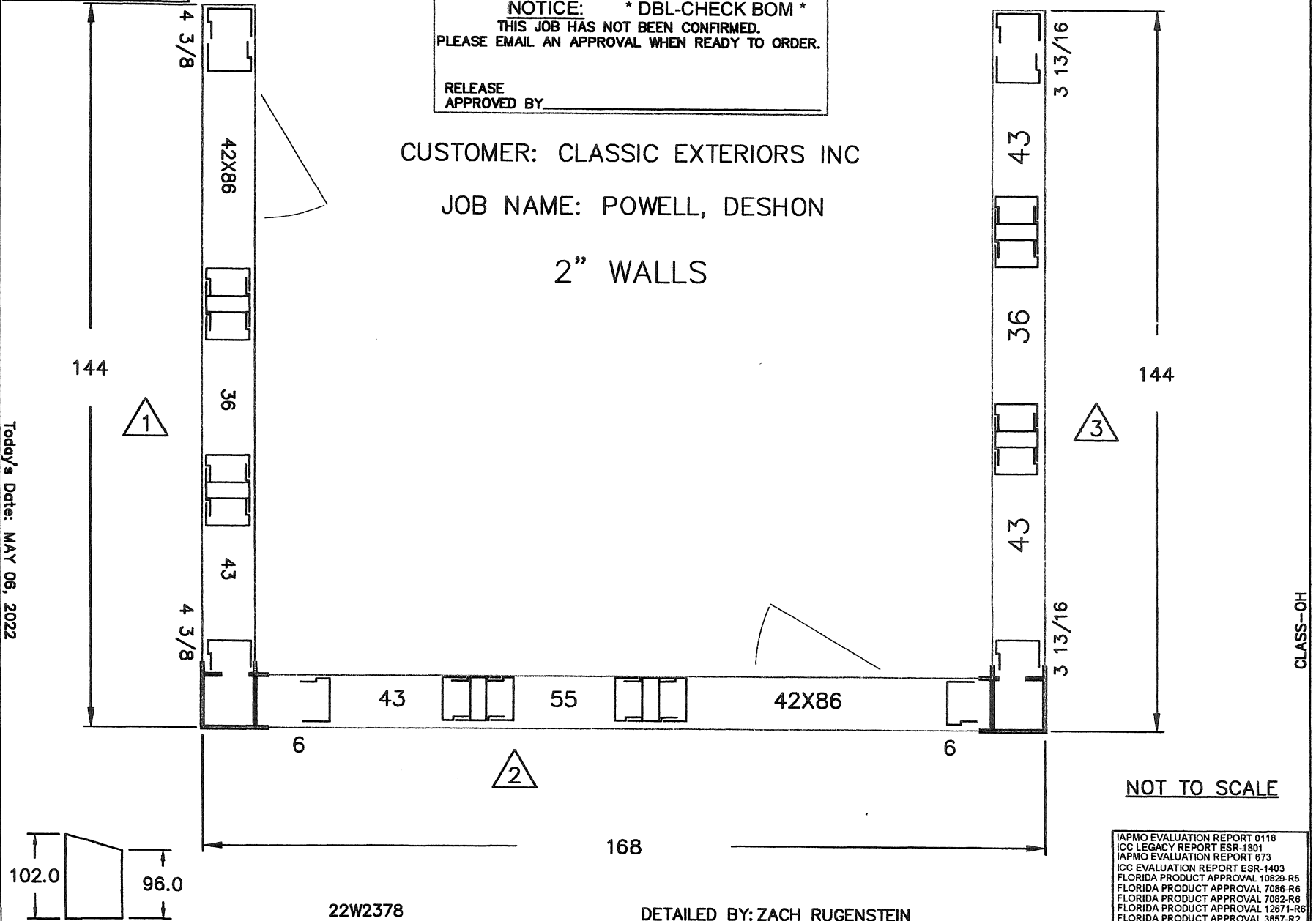
RELEASE
APPROVED BY _____

CUSTOMER: CLASSIC EXTERIORS INC

JOB NAME: POWELL, DESHON

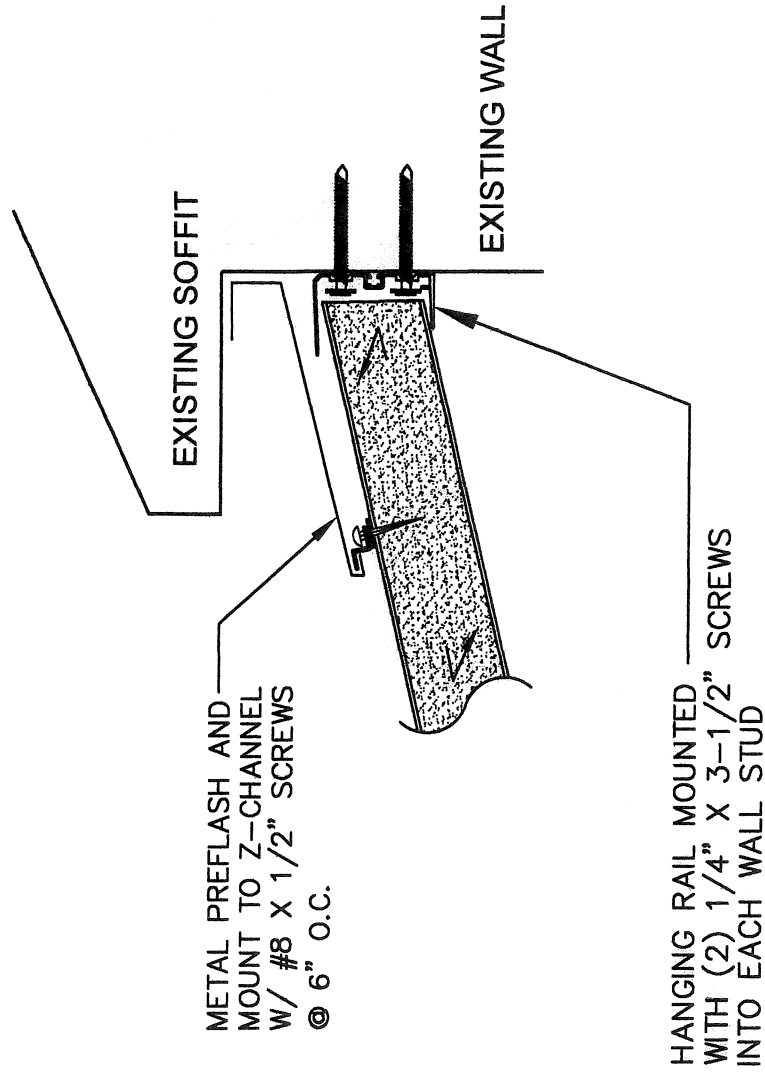
2" WALLS

Today's Date: MAY 06, 2022



IAPMO EVALUATION REPORT 0118
ICC LEGACY REPORT ESR-1801
IAPMO EVALUATION REPORT 673
ICC EVALUATION REPORT ESR-1403
FLORIDA PRODUCT APPROVAL 10829-R5
FLORIDA PRODUCT APPROVAL 7086-R6
FLORIDA PRODUCT APPROVAL 7082-R6
FLORIDA PRODUCT APPROVAL 12671-R6
FLORIDA PRODUCT APPROVAL 3857-R2

DETAIL 'B'



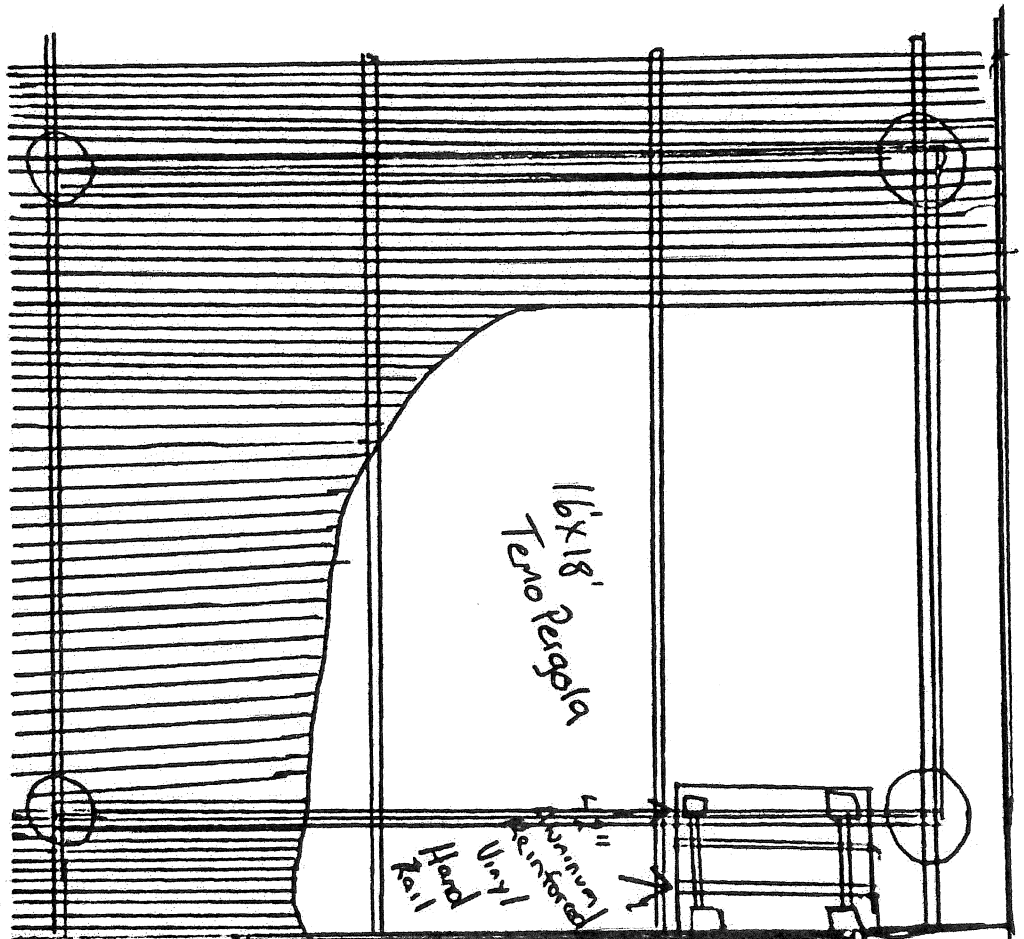
Today's Date: MAY 06, 2022

TEMO SUNROOMS, INC.

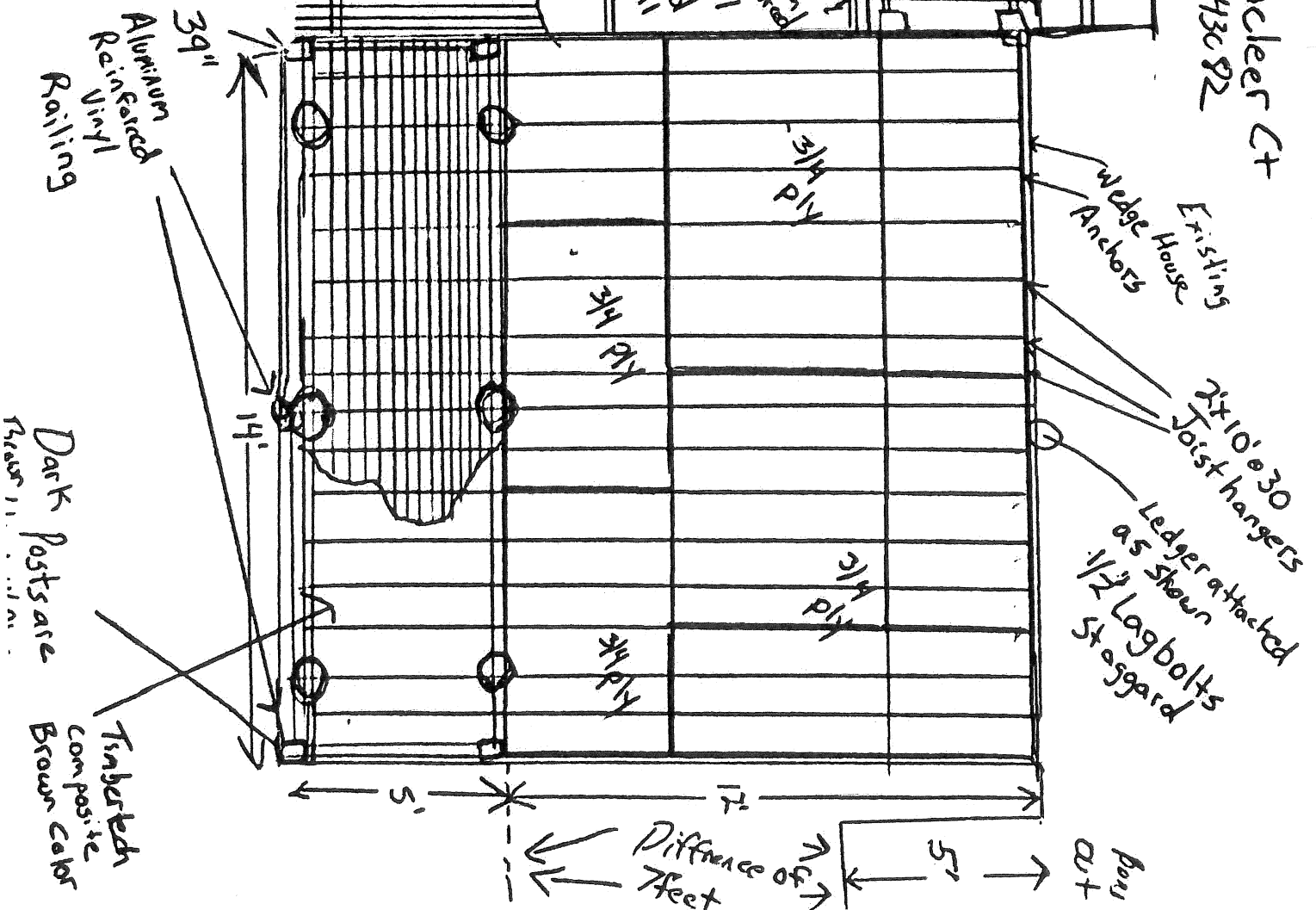
20400 HALL RD
CLINTON TWP, MI 48038
PHONE: (800) 344-8366

DEALER: CLASS-OH 22W2378 PH. ()
POWELL, DESHON
6630 CHANTICLEER CT
WESTERVILLE, OH 43082
DRAWN BY: ZACH RUGENSTEIN ON: 05/06/22 SCALE: NONE

Deshon Powell Job 6630 Chanticleer Ct
 Westerville, OH 43082



Classic Extensions, Inc.
 5906 Roche Dr. Suite 36A
 Columbus, OH 43229
 614-601-6008



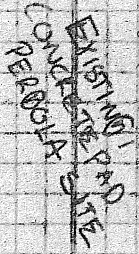
Columbus Off, 4132229

EX-1151 MO-104-35

SEEDED AND LIVED?

2X10.50 x 11.00

Westerville OH, 43082



34 75 Pig

34" RT PLY
11' 10"

EXISTING HOUSE

DECK FRAME DETAILS:

4 Footings 16" DIAMETER 32" DEPTH.

* 4x4 PT post ONTD 8" Thide concrete footing

* Post to EFAM Dec 2 - 2/17 Post Cap

* 2X10 FT DIS FROM LEADS - OVER BEAMS.

* 3 TOE NAILS SET TO 5/16" & X10 HANGER AT 1' EDGE. LUS2107.

* 20161 10 be spaced 16" OC

161111Z FEB 54
 FM JCRC
 TO SECDEF
 INFO SECDEF
 161111Z FEB 54
 FM JCRC
 TO SECDEF
 INFO SECDEF

[illegible]

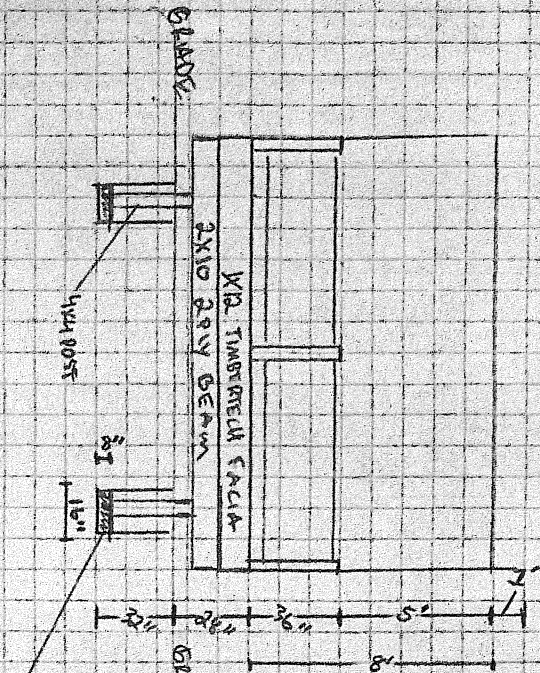
* Beam is 20m x 10 PT

* Off-peak speeds recorded in Northants

SCALE $1/4" = 1'$

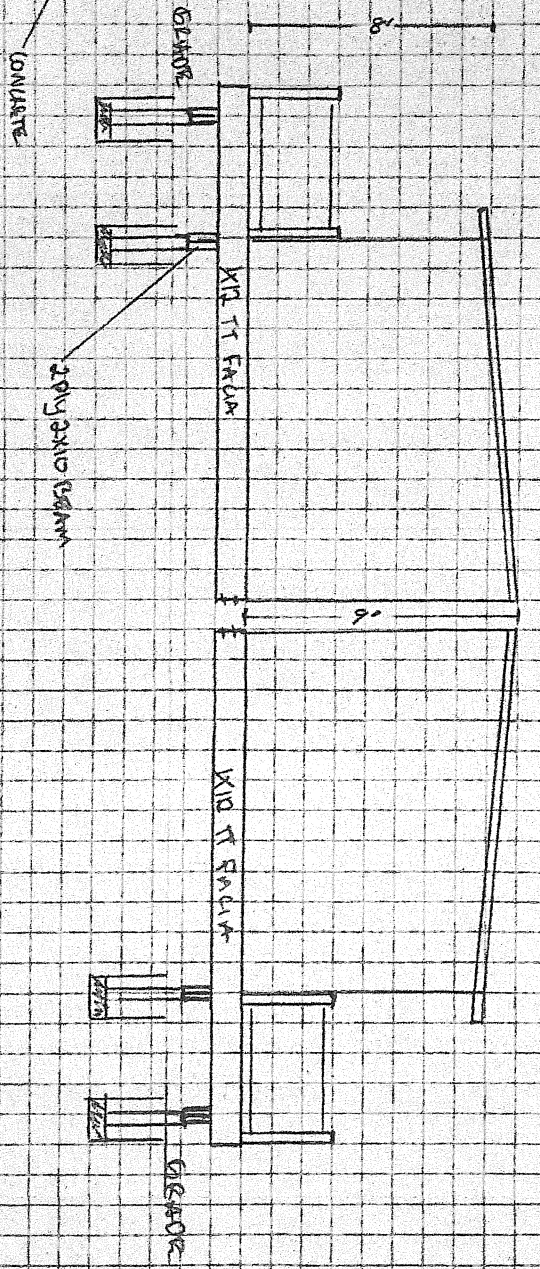
CLASSIC EXTERIORS
 6900 ROUTE DR
 COLUMBUS OH 43229

FRONT VIEW



ELEVATION/FOOTINGS

RIGHT VIEW



LEFT VIEW

POWELL RESIDENCE
 6630 CHANTLER CT
 WILLOUGHBY OH 44092

SCALE 1/4" = 1'

IF RAILING SEE IS INCLUDED IN DOCUMENTS

Temo inc.

SPECIFICATIONS FOR SCREENROOM WITH 2" WALL MULLIONS

PAGE NUMBER	DESCRIPTION
COVER SHEET	INDEX OF SHEETS
1	FLOOR PLANS, ELEVATIONS and ROOF PLANS
2	2" SCREENROOM SYSTEM, PARTS, DETAILS and NOTES
3	2" SCREENROOM PLAN, SECTIONS and DETAILS
4	2" SCREENROOM DECK and SLAB ATTACHMENT DETAILS
5	2" SCREENROOM SYSTEM TABLES



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NOVEMBER 6, 2022

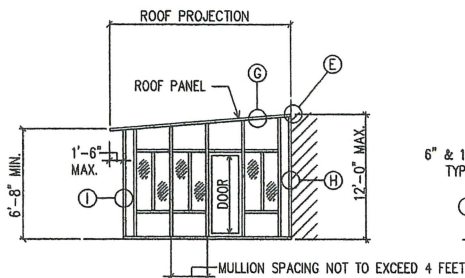
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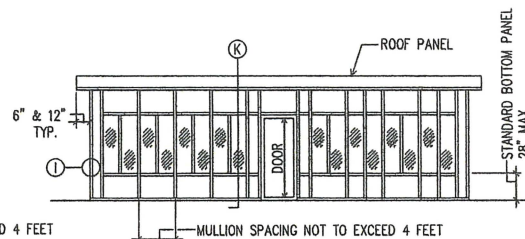
Temo inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
586-286-0410 600-344-5366

COVER SHEET

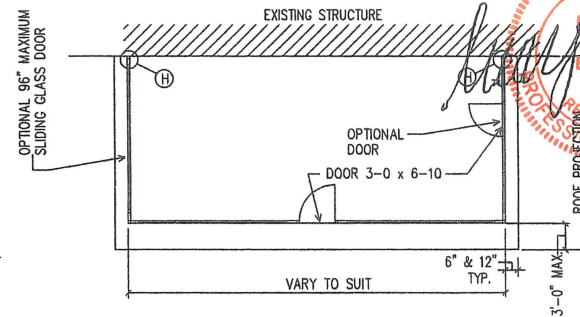
DATE:
MAY 10, 2022
LUAY ESNO, PE
20400 HALL RD.
CLINTON TWP, MI 48038
PH: (800) 344-5366
PROFESSIONAL ENGINEER
OH Lic. #E-78838
DRAWN BY:
CUSTOMER:
CLASS-CH
FILE NAME:
108SCREENCOVER
SHT. NO.:
COVER SHEET



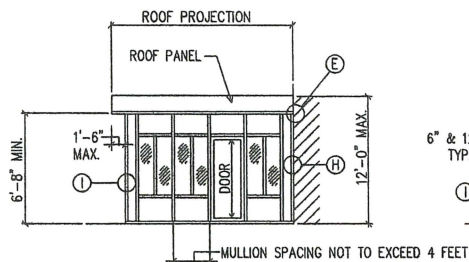
SCREENROOM END WALL ELEVATION



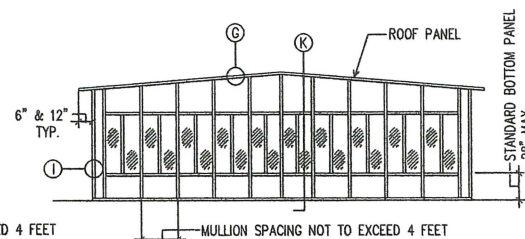
SCREENROOM FRONT WALL ELEVATION



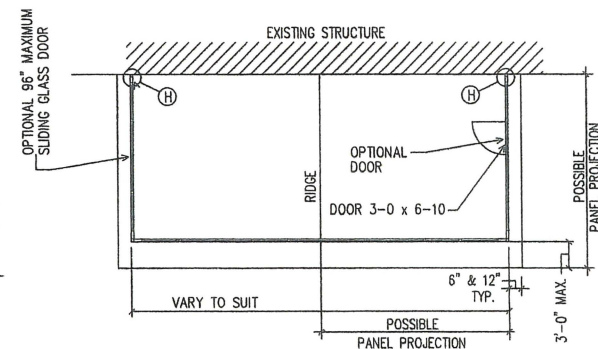
TYPICAL STUDIO ROOF SCREENROOM PLAN



SCREENROOM END WALL ELEVATION



SCREENROOM FRONT WALL ELEVATION



TYPICAL GABLE ROOF SCREENROOM PLAN

NOTE:
ALL SECTIONS & DETAILS REFERENCED
HERE ARE SHOWN ON SHEET 2TES3.

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NOVEMBER 6, 2022

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SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.

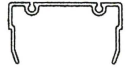
TERMO inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
586-286-0410 800-344-6366

FLOOR PLANS
&
ELEVATIONS &
ROOF PLANS

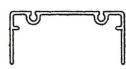
DATE: MAY 10, 2022
LWAY ENDR. PT.
20400 HALL RD
CLINTON TWP, MI 48038
734 690-344-6366
PROFESSIONAL ENGINEER
OH Lic. #E-72839
DRAWN BY:

CUSTOMER:
CLASS-CH
FILE NAME:
106SCREEN110
SHT. NO.:

1 OF 5



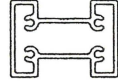
2.00" STANDARD MALE
(9533) ①



2.00" STANDARD FEMALE
(9536) ②



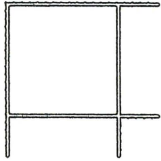
2.00" "H" CHANNEL
(9613) ③



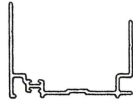
2" WALL STUD
(10861) ④



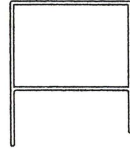
2" 45° ADAPTER
(5907) ⑤



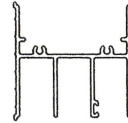
2.00" CORNER
(2892) ⑥



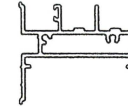
2.00" BASE/WALL CAP
(44545) ⑦



TOP TRACK / EXPANDER
(6590) ⑧



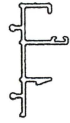
2.00" HEADER
(10536) ⑨



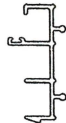
2.00" SILL
(10537) ⑩



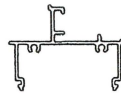
2.00" KP ADAPTER
(2768) ⑪



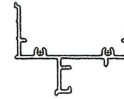
S.C. JAMB
(11777) ⑫



D.S.S. JAMB
(11776) ⑬



2.00" TRANSOM SILL
(11129) ⑭



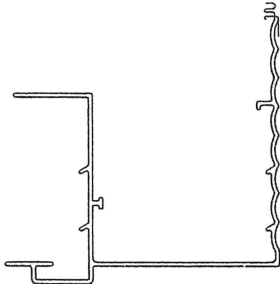
TRANSOM HEADER
(11128) ⑮



TRANSOM JAMB
(11002) ⑯



RACEWAY CAP
(8291) ⑰



RAIN GUTTER
(44215) ⑱



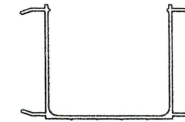
"C" FACIA
(44218) ⑲



3.00" HANGING RAIL
(5803) ⑳



4.25" HANGING RAIL
(5859) ㉑



2.00" VERTICAL RACEWAY
(8290) ㉒

GENERAL NOTES & SPECIFICATIONS

- THIS ENCLOSURE SYSTEM IS TO BE INSTALLED UNDER THE ROOF PANEL SHOWN ON DRAWING NO. 21ES4 OR UNDER A CODE APPROVED EXISTING ROOF.
- DESIGN LOADS: SEE TABLES FOR DESIGN LOADS AS SPECIFIED PER THE 2018 INTERNATIONAL RESIDENTIAL CODE, 2018 INTERNATIONAL BUILDING CODE.
- FASTENERS: SCREWS SHALL BE SIZES SHOWN AND SHALL BE STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL OR 2024-T4 ALUMINUM.
- ALL STRUCTURAL COMPONENTS OF THIS PATIO COVER SYSTEM (EXCEPT SOLID PANELS) ARE OF ALLOY & TEMPER 6063-T6 UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL EXTERIOR PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CAULKED.
- OPENINGS IN THE WALL MAY BE COVERED WITH A WIND BREAK MADE OF TEMPERED GLASS WITH A MINIMUM THICKNESS OF 1/8 INCH THAT COMPLIES WITH THE CODE.
- WHERE THE ROOF PANEL SPAN IS PARALLEL TO THE EXISTING WALL OF THE RESIDENCE THE ADEQUACY OF THE EXISTING WALL SUPPORT STRUCTURE (STUDS, HEADERS, BEAMS ETC.) SHALL BE VERIFIED BY AN INDEPENDENT SOURCE FOR THE ATTACHMENT OF THE RIDGE BEAM. THE ADEQUACY OF THE EXISTING FRAMING IS NOT A PART OF THIS DESIGN OR APPROVAL.
- THE BEARING SYSTEM MULLIONS HAVE BEEN DESIGNED FOR LOAD COMBINATIONS REQUIRED BY CODE.
- ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER CODE.
- EXPANSION ANCHORS SHALL BE "HILTI KWIK-BOLT 8" ANCHORS, "TRU-FAST ZAMAC NAILIN", TAPCON FASTENERS OR EQUIVALENT. WOOD LAGS SHALL BE 1/4" BY 3" GALVANIZED LAG BOLTS.
- ALL EXISTING WOOD SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.49.
- SEE TABLES (A) AND (B) ON SHEET 21ES5 FOR DESIGN WIND LOADS.

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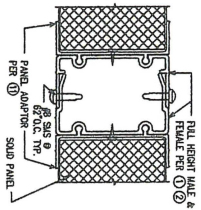
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598-286-0410 600-341-8396

2.00" SCREENROOM
SYSTEM & PARTS
DETAILS & NOTES

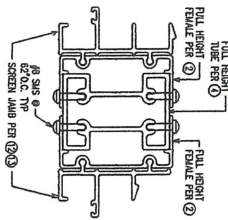
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25400 HALL RD
CLINTON TWP, MI 48038
PH: (248) 241-8388
PROFESSIONAL ENGINEER
EX. 10-672839
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CUSTOMER:
CLASS-CH
FILE NAME:
10SSCREEN2
SHT. NO.:
2 OF 5



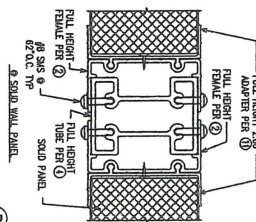
Q SCREEN OPENING.

Q SCREEN OPENING.

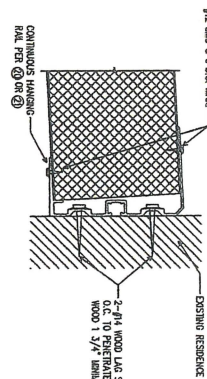
Q SOLID WALL, PANEL.



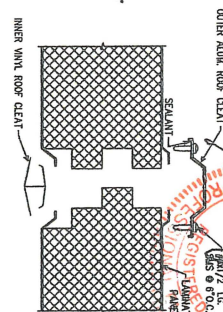
FEMALE/SQ TUBE-WALL STUD/FEMALE MULLIONS



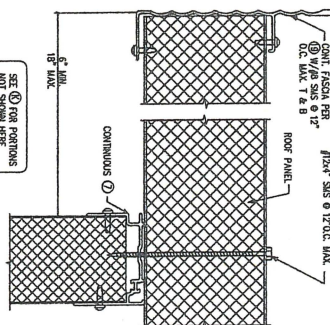
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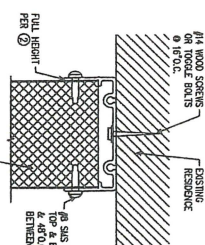
ROOF PANEL/WALL ATTACHMENT (E)



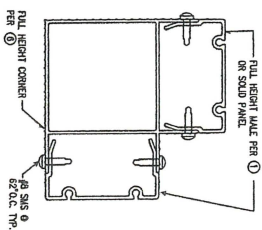
ROOF PANEL SPLICE



BEARING WALL SECTION



CONNECTION @ HOUSE (H)



CORNER ①

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2.00" SCREENROOM
PLANS, SECTIONS
& DETAILS

DATE:	MAY 10, 2022
LUAY ERNO, PE	20400 HALL RD
	CLANTON TWP, NJ 08809
PE (609) 244-6266	PROFESSIONAL ENGINEER
ON Lic. #P-724389	
DRAWN BY:	
CUSTOMER:	
CLASS-0H	
FILE NAME:	
108SCREENS	
SHT. NO.:	
3 OF 5.	

TABLE "A": BEARING WALL MULLION SECTION				
MAXIMUM MULLION SPACING	MULLION TYPE			
	DET. (A)			
	MAXIMUM MULLION HEIGHT			
20 PSF SNOW LOAD, 115 MPH WIND LOAD				
46" C/C	8'-0"			

TABLE "C": MAXIMUM ROOF PANEL SPANS		
DESIGN LOAD	PANEL DESIGNATION	
	T-3-2-32	T-4.25-2-32
10 PSF LIVE LOAD	18'-0"	20'-0"
20 PSF SNOW LOAD	14'-9"	17'-9"
25 PSF SNOW LOAD	13'-0"	16'-6"
30 PSF SNOW LOAD	12'-2"	15'-3"

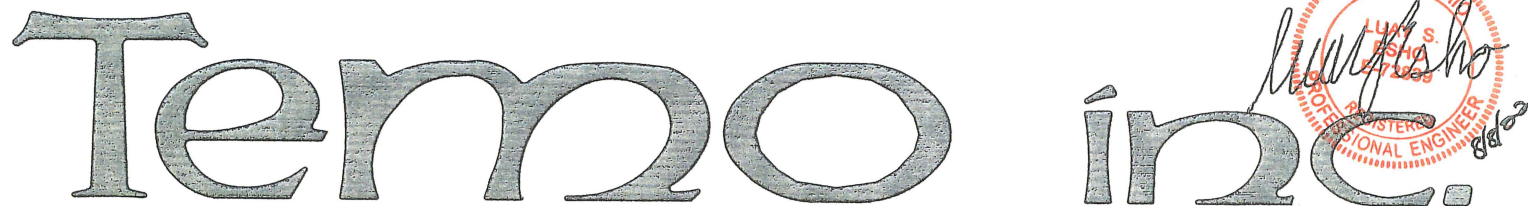
MAXIMUM PANEL OVERHANG IS 1'-6"
MINIMUM ROOF PANEL SLOPE IS 1/4 INCH PER FOOT

TABLE "B": NON-BEARING WALL MULLION SECTION				
MAXIMUM MULLION SPACING	MULLION TYPE			
	DET. (A)			
	MAXIMUM MULLION HEIGHT			
115 MPH WIND LOAD				
46" C/C	8'-6"			

- 1) BASIC WIND SPEED: 115 MPH
- 2) WIND IMPORTANCE FACTOR: 1
- 3) WIND EXPOSURE CATEGORY: B



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<div style="text-align: center;"> Temo inc. 20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038 586-286-0410 800-344-6566 </div>
2.00" SCREENROOM SYSTEM TABLES
DATE: MAY 10, 2022 LUAY ESHO, P.E. 20400 HALL RD CLINTON TWP, MI 48038 PH: (586) 344-6566 PROFESSIONAL ENGINEER OH Lic. #E-72839 DRAWN BY: CUSTOMER: CLASS: OH FILE NAME: 106SCREENS SHT. NO.: 5 OF 5



SPECIFICATIONS FOR
OPERABLE PERGOLA

PAGE NUMBER
COVER SHEET

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FLOOR PLANS and ELEVATIONS FOR FREE-STANDING
MAXIMUM RAFTER and BEAM SPANS
CONNECTION DETAILS
WALL ATTACHMENT DETAILS
FOOTING DETAILS
CROSS SECTIONS

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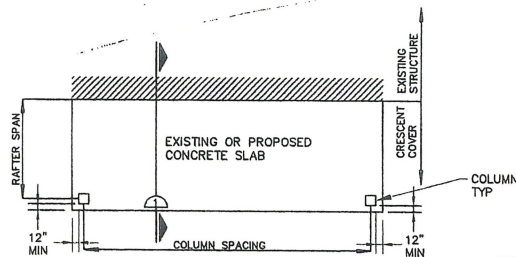
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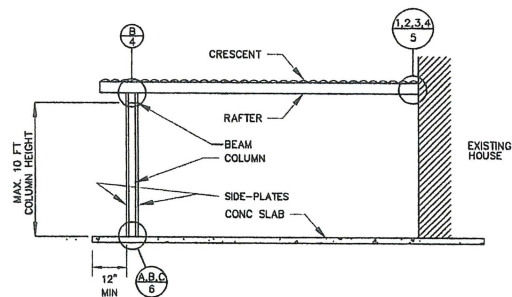
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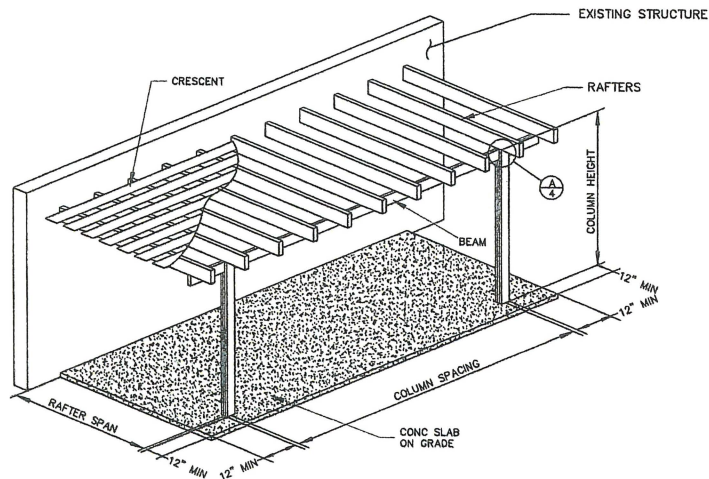


FOUNDATION PLAN

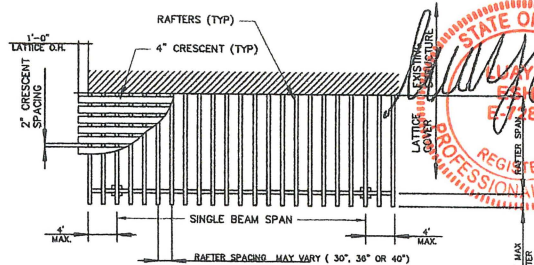
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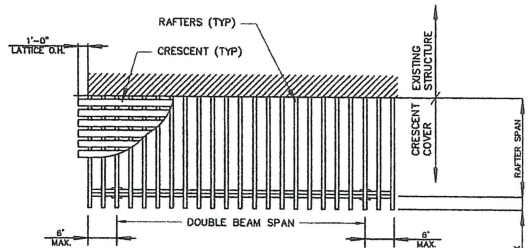
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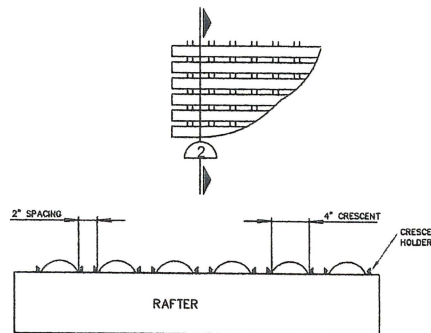
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SINGLE BEAM ROOF PLAN



DOUBLE BEAM ROOF PLAN



CROSS SECTION 2

RAFTER AND LATTICE

GENERAL NOTES AND SPECIFICATIONS:

DESIGN LOADS: SEE TABLES FOR DESIGN LOADS AS SPECIFIED PER THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL BUILDING CODE.

2. FASTENERS: SCREWS SHALL BE SIZES SHOWN AND SHALL BE STAINLESS STEEL, ZINC PLATED, GALVANIZED STEEL OR 2024-T4 ALUMINUM.

ALL STRUCTURAL COMPONENTS OF THIS SYSTEM ARE OF ALLOY & TEMPER 6063-T6 UNLESS SPECIFICALLY NOTED OTHERWISE.

4. ALL EXTERIOR PORTIONS OF THE SOLID WALL PANEL WHICH ARE SUBJECT TO WATER INTRUSION SHALL BE FULLY CAULKED.

5. THE BEARING SYSTEM MULLIONS HAVE BEEN DESIGNED FOR LOAD COMBINATIONS REQUIRED BY THE 2018 INTERNATIONAL RESIDENTIAL CODE AND 2018 INTERNATIONAL BUILDING CODE.

6. ALL ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE PROTECTED PER CODE.

7. EXPANSION ANCHORS SHALL BE ZINC PLATED CARBON STEEL EXPANSION ANCHORS SHALL BE "HILTI KWIK BOLT" ESR-1917, "TRU-FAST ZAMAC NAILIN", TAPCON FASTENERS OR EQUIVALENT. WOOD SHALL BE 1/4" BY 3" GALVANIZED LAG BOLTS. SPECIAL INSPECTION IS REQUIRED FOR ALL POST-INSTALLED ANCHORS.

8. LATTICE TYPE STRUCTURES SHALL NOT BE COVERED WITH ANY TYPE OF SOLID MATERIAL.

9. WIND LOADS: STRUCTURES HAVE NOT BEEN DESIGNED FOR WIND SPEED - UP EFFECTS AT ISOLATED HILLS, RIDGES OR ESCARPMENTS. STRUCTURES EXPOSED TO THESE TYPES OF LOADING ARE OUTSIDE THE SCOPE OF THIS PLAN AND SHALL REQUIRE "SPECIAL ENGINEERING".

10. SNOW LOADS: STRUCTURE ROOFS HAVE NOT BEEN DESIGNED FOR LOCALIZED SNOW LOADS SUCH AS:

- LOADS FROM SNOW DRIFTS THAT FORM IN THE WIND SHADOW.
- SNOW THAT FORMS DRIFTS FROM A HIGHER ROOF OR, WITH THE WIND FROM THE OPPOSITE DIRECTION, FROM THE ROOF ON WHICH THE DRIFT IS LOCATED.
- EXTRA LOAD CAUSED BY SNOW SLIDING OFF A SLOPED ROOF ONTO A LOWER ROOF; AND/OR
- LOCATIONS SUBJECT TO RAIN-ON-SNOW SURCHARGE LOADS.

11. ALUMINUM SHALL BE ALLOY AND TEMPER AS SHOWN ON DRAWINGS (6063-T6).

12. ALL STEEL IN CONTACT WITH ALUMINUM SHALL BE HOT DIP GALVANIZED OR ELECTROPLATED.

13. ALL HOLES DRILLED IN STEEL, EXPOSED TO WEATHER, SHALL BE PAINTED IN THE FIELD WITH A MINIMUM OF ONE COAT OF ZINC CHROMATE PRIMER.

14. SHEET METAL SCREWS (SMS) SHALL BE TYPE SELF-DRILLING SCREWS.

15. SHEET METAL SCREWS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN PART I-A OF THE LATEST ALUMINUM DESIGN MANUAL FOR TAPPING SCREW CONNECTIONS.

16. WHERE SUPPORT PROVIDED BY A CONCRETE SLAB IS PERMITTED BY CODE, THE CONCRETE SLAB (NEW OR EXISTING) SHALL BE IN GOOD SOUND CONDITION, MEANING THE SLAB WILL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI, HAVE NO EVIDENCE OF EXTENSIVE CRACKING, WATER SEEPAGE, OR UNSTABLE FOUNDATION CHARACTERISTICS AND HAVE A MINIMUM THICKNESS OF 3.5 INCHES.

17. WHERE A NEW SLAB AND/OR FOUNDATION IS INSTALLED, SUB-GRADE SHALL BE NON-EXPANSIVE SOIL & SHALL BE COMPACTED BEFORE INSTALLATION OF SLAB/FOUNDATION.

18. MAXIMUM DIMENSION IS 25.5' X 15'. STRUCTURAL CALCULATIONS MUST BE SUBMITTED FOR A LARGER PERGOLA.

19. IN THE CASE OF A STUCCO FINISHED WALL, USE 2-5/8" x 3" LAG BOLTS TO ATTACH THE WALL BRACKET TO THE EXISTING HOUSE WALL.

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FLOOR PLANS &
ELEVATIONS FOR
HOUSE ATTACHMENT

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CLINTON TWP, MI 48038
PH (800) 344-5356
PROFESSIONAL ENGINEER
ON LG #E-72039

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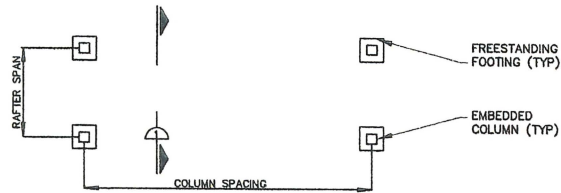
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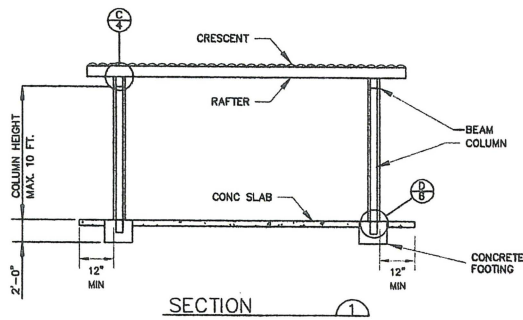
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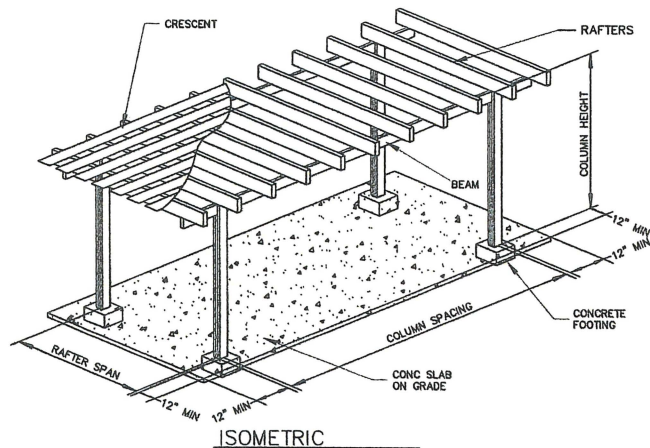


FOUNDATION PLAN

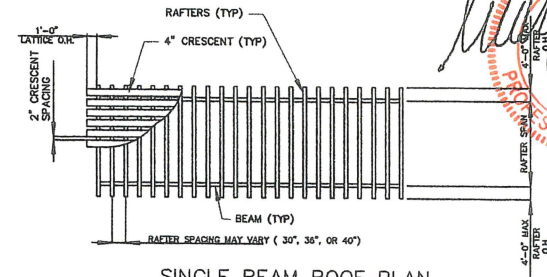
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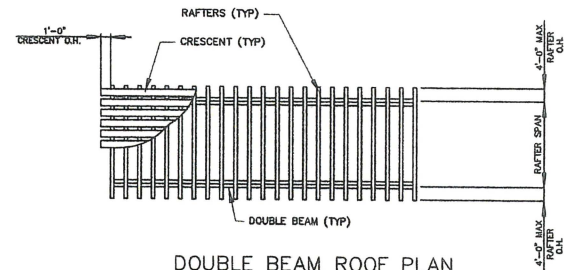
SECTION 1



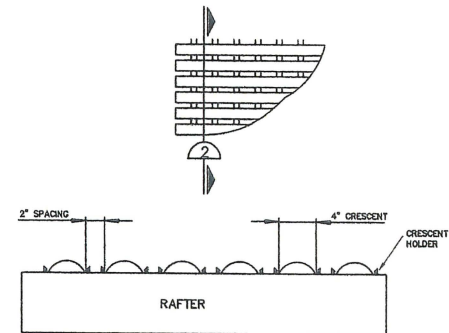
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SINGLE BEAM ROOF PLAN



DOUBLE BEAM ROOF PLAN



CROSS SECTION 2

RAFTER AND LATTICE



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FLOOR PLANS AND
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FREE-STANDING

DATE:
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20400 HALL RD
CLINTON TWP, MI 48038
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2 OF 7

MAXIMUM RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN DETERMINATION TABLE A-F

1. DETERMINE DESIRED RAFTER SPACING IN TABLES A - F (FIRST COLUMN, THIRD ROW).
2. LOCATE THE REQUIRED LOAD ACCORDING TO YOUR LOCAL CODE IN THE SECOND ROW.
3. COMPARE WIND PRESSURE WITH ROOF LOAD AND LOCATE THE HIGHER ONE TO DETERMINE THE MAXIMUM SPAN.
4. BY INTERSECTING COLUMN & SECOND ROW, THE VALUE IN THE INTERSECTION IS THE MAXIMUM RAFTER SPAN.
5. FOLLOW THE SAME STEPS TO GET THE VALUE FOR SINGLE BEAM AND DOUBLE BEAM (FOURTH AND FIFTH ROWS).
6. LOCATE THE WIND SPEED AND EXPOSURE TO DETERMINE WIND PRESSURE (TABLE F).

TABLE "A": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 36"	17'-0"	15'-0"	13'-0"	11'-9"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	11'-6"	10'-6"	9'-1"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-6"	14'-6"	13'-0"	12'-3"

TABLE "B": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 48"	17'-0"	14'-0"	12'-0"	11'-0"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-0"	10'-9"	10'-0"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-0"	15'-0"	13'-6"	12'-6"

TABLE "C": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	40
RAFTER SPACING 60"	15'-0"	12'-0"	10'-6"	9'-6"
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-0"	10'-6"	10'-0"
DOUBLE BEAM W/ 1' RAFTER OVERHANG	17'-6"	15'-0"	13'-6"	12'-6"

TABLE "D": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10	20	30	
RAFTER SPACING 72"	14'-6"	11'-6"	10'-0"	
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"	12'-6"	11'-0"	
DOUBLE BEAM W/ 1' RAFTER OVERHANG	18'-0"	15'-0"	13'-6"	

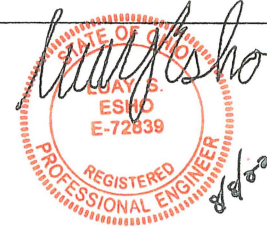
TABLE "E": MAXIMUM ALLOWABLE RAFTER, SINGLE BEAM & DOUBLE BEAM SPAN (FT)

ROOF LOAD (PSF)	10		
RAFTER SPACING 84"	14'-0"		
SINGLE BEAM W/ 1' RAFTER OVERHANG	14'-0"		
DOUBLE BEAM W/ 1' RAFTER OVERHANG	18'-6"		

TABLE "F": WIND UPLIFT PRESSURE (PSF)

WIND SPEED (MPH)	EXPOSURE B	EXPOSURE C
110	5.5	6.7
115	6.2	7.5
125	7.6	9.2
130	9.2	11.2
140	11.0	13.3
150	12.9	15.6
160	14.9	18.1

NOTE: ALL PRESSURES HAVE BEEN REDUCED BY 30% BECAUSE LATTICE IS OPEN SPACE.



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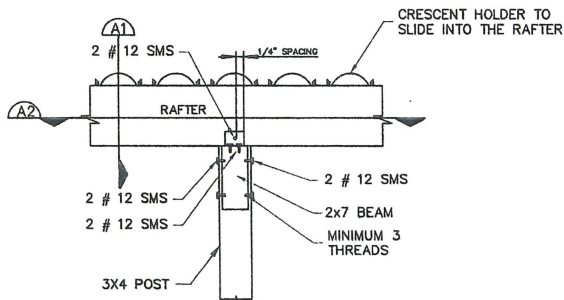
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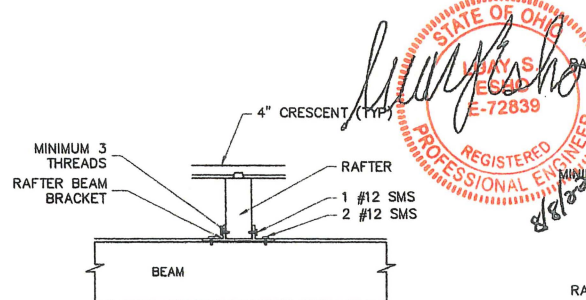
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MAXIMUM RAFTER
& BEAM SPANS

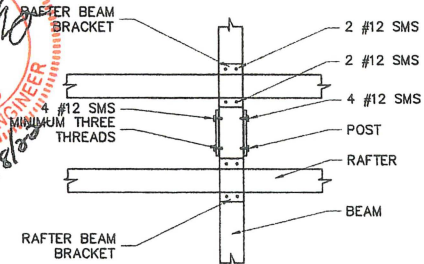
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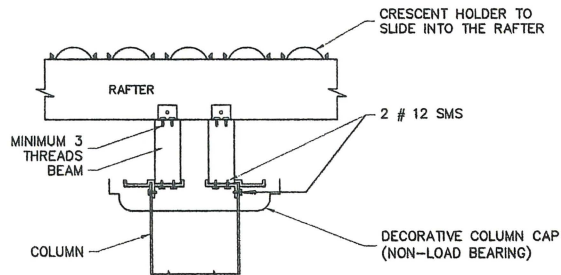
RAFTER, BEAM, AND POST CONNECTION (A1)



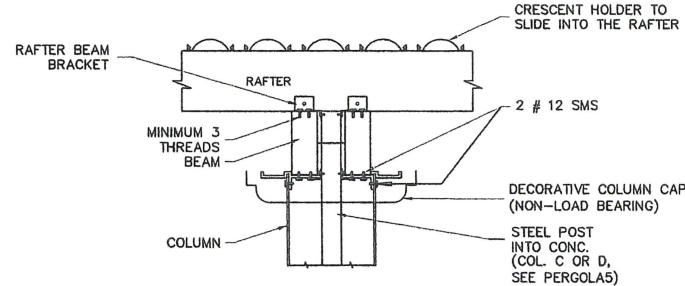
RAFTER-BEAM CONNECTION DETAIL (A2)



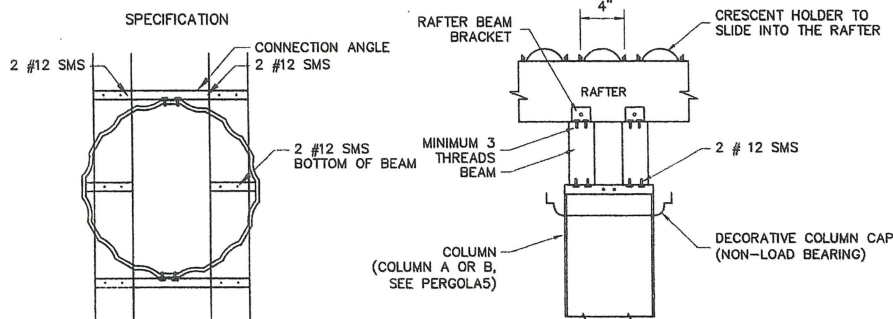
COLUMN - BEAM CONNECTION (A3)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION (B1)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION WITH STEEL POST INTO CEMENT (C1)



RAFTER, DOUBLE BEAM, COLUMN CONNECTION (B2)

TOTAL NUMBER OF #12 SMS (BEAM-COLUMN, COLUMN-SHOE)							
TRIBUTARY AREA (SF)	UPLIFT PRESSURE (PSF)						
	5	8	10	12.5	15	17.5	18.1
50	2	2	2	2	2	2	2
70	2	2	2	2	4	4	4
90	2	2	2	4	4	4	4
100	2	2	2	4	4	4	6
120	2	4	4	4	4	6	6
140	2	4	4	4	6		
160	2	4	4				
180	4	4	4				
200	4	4	4				

NOTE: TOTAL NUMBER OF SMS APPLIES TO ALL SECTION SINGLE BEAM AND DOUBLE BEAM.

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FEBRUARY 4, 2023

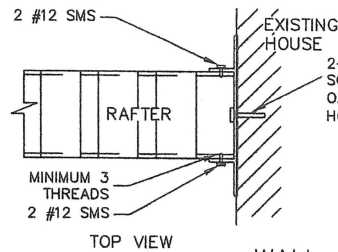
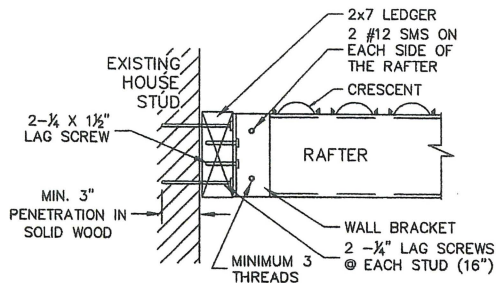
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Temo inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48036
586-286-0410 800-344-8366

CONNECTION
DETAILS

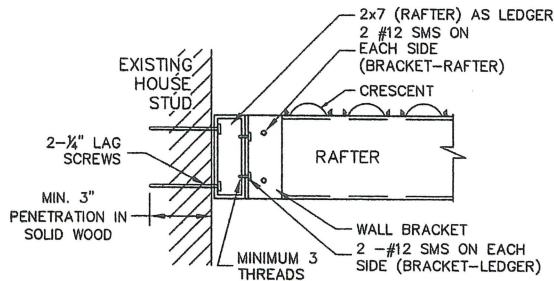
DATE: AUG 08, 2022
LWAY ENGR, PE
20400 HALL RD
CLINTON TWP, MI 48036
PH: (586) 344-8366
PROFESSIONAL ENGINEER
ON L.S. #E-72839
DRAWN BY:
CUSTOMER:
CLAYTON - (P)
FILE NAME:
PERGOLA42018
SHT. NO.:
PERGOLA4
4 OF 7



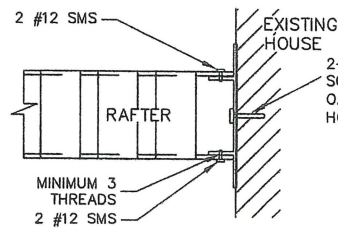
WALL ATTACHMENT 1



SIDE VIEW



WALL ATTACHMENT 3



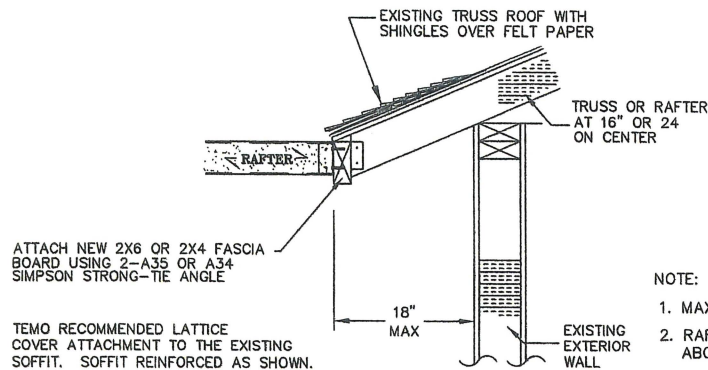
TOP VIEW

WALL ATTACHMENT 2



SIDE VIEW

NOTE: IN THE CASE OF A STUCCO FINISHED WALL, USE 2-3/8" X 3" LAG BOLTS TO ATTACH THE WALL BRACKET TO THE EXISTING HOUSE WALL.



ROOF TO OVERHANG
REINFORCING AND ATTACHMENT DETAIL 4

NOTE:

1. MAXIMUM PROJECTION SHALL BE 20 FT.
2. RAFTER LEVEL SHOULD BE THE SAME OR ABOVE THE SIMPSON ANGLE LEVEL.
3. SPECIAL ENGINEERING SHOULD BE PROVIDED WITH MORE THAN 18" OVERHANG.

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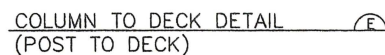
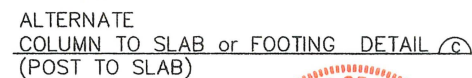
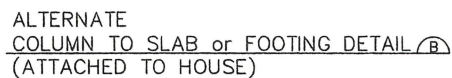
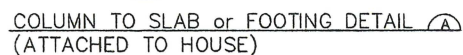
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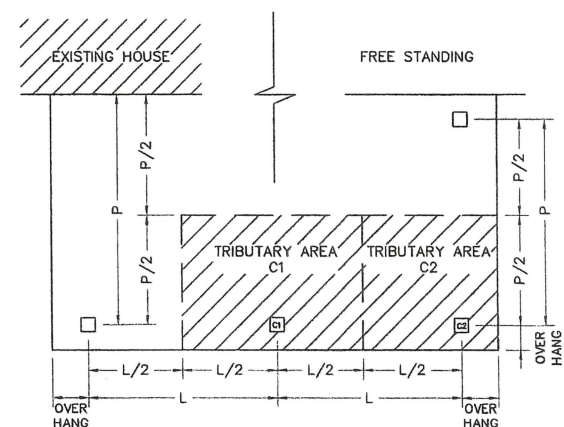
Temo inc.
20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
586-286-0410 800-344-8366

FOOTING &
WALL ATTACHMENT
DETAILS

DATE:
AUG 08, 2022
LARRY S. ESHO, P.E.
20400 HALL RD
CLINTON TWP, MI 48038
PH: (586) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839
DRAWN BY:
CUSTOMER:
CLASS:-OH
FILE NAME:
PERGOLAS
SHT. NO.:
PERGOLAS
5 OF 7



NOTE: LATTICE COVER MAY BE INSTALLED ON A GOOD CONDITION 3.5" SLAB IF THE TRIBUTARY AREA UNDER C1, C2 ARE 50, 30 Sq. Ft. WITH 90 MPH WIND SPEED.



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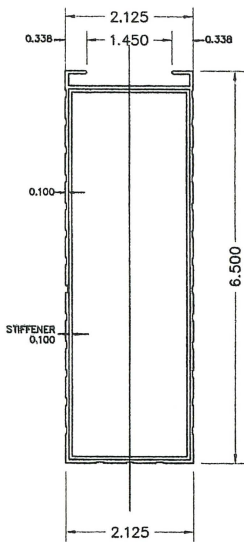
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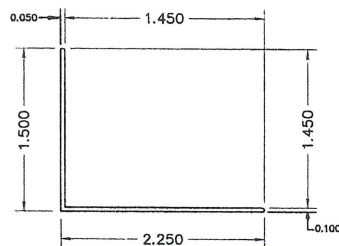
FOOTING DETAILS

DATE: AUG 08, 2022
LUAY ESHO, PE
20400 HALL RD
CUNTON TWP, NJ 08038
Ph: (609) 344-0350
PROFESSIONAL ENGINEER
OH No. JE-72830
DRAWN BY:

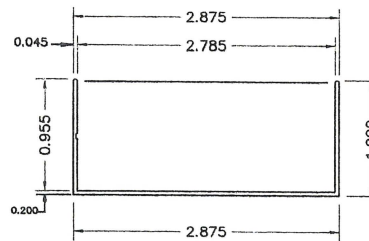
CUSTOMER:	CLASS-OH
FILE NAME:	PERGOLA82018
SHT. NO.:	PERGOLA6 4 OF 7



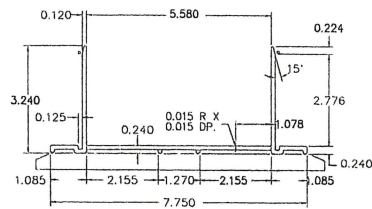
RAFTER OR BEAM



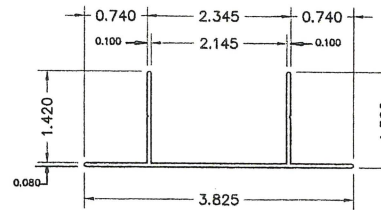
ANGLE



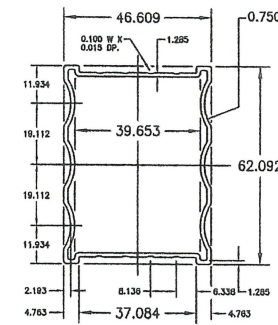
POST SHOE



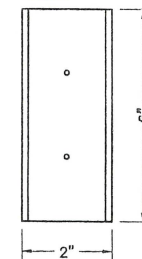
SHOE DETAIL



RAFTER BEAM BRACKET



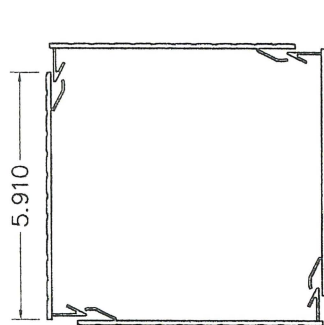
POST



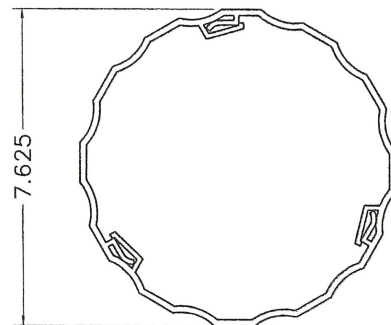
RAFTER TO HOUSE MOUNTING BRACKET



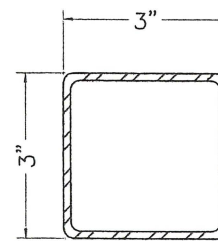
CRESCENT HOLDER



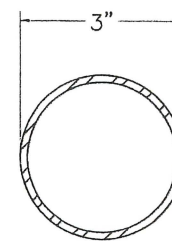
SQUARE COLUMN SNAP CONNECTION TYPE "A"



ROUND COLUMN SNAP CONNECTION TYPE "B"



SQUARE POST TYPE "C"



ROUND POST TYPE "D"

TYPE	THICKNESS (INCH)	MATERIAL
A	0.075	ALU. 6063-T6
B	0.060	ALU. 6063-T6
C	0.233 0.291	A653, GRADE 46 STEEL
D	0.201 0.280	A653, GRADE 36 STEEL
ALL OTHER SECTIONS ARE ALU. 6063-T6		

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888-286-0410 800-344-6389

CROSS SECTIONS

DATE: AUG 08, 2022
LARRY S. HOSHO, P.E.
20400 HALL RD
CLINTON TWP, MI 48038
PH: (202) 344-6389
PROFESSIONAL ENGINEER
ON L.S. #E-72839

DRAWN BY:

CUSTOMER:

CLASS: CH

FILE NAME: PERGOLA7STIFN

SHT. NO: PERGOLA7STIFN

7 OF 7