

Exhibit "F-2" - Architectural Elevations & Floor Plans

*NOTE: PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY- STANDARDS TO BE REGULATED AND ENFORCED BY HOA



4231



A Simply Luxurious Lifestyle

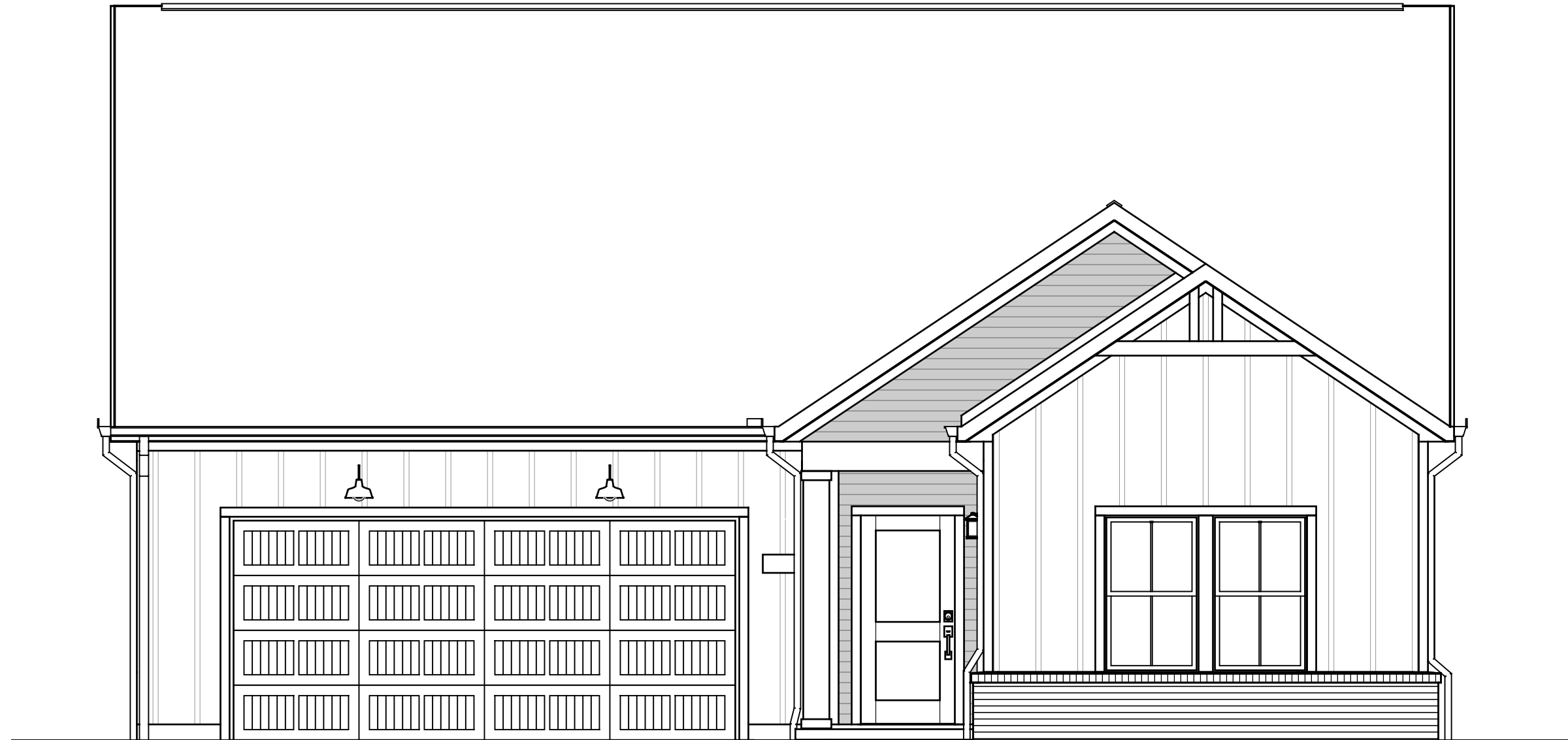
CAPRI (DR-0) UNIT RANCH ELEVATION A





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CAPRI (DR-0) UNIT RANCH ELEVATION B





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CAPRI (DR-0) UNIT RANCH ELEVATION C





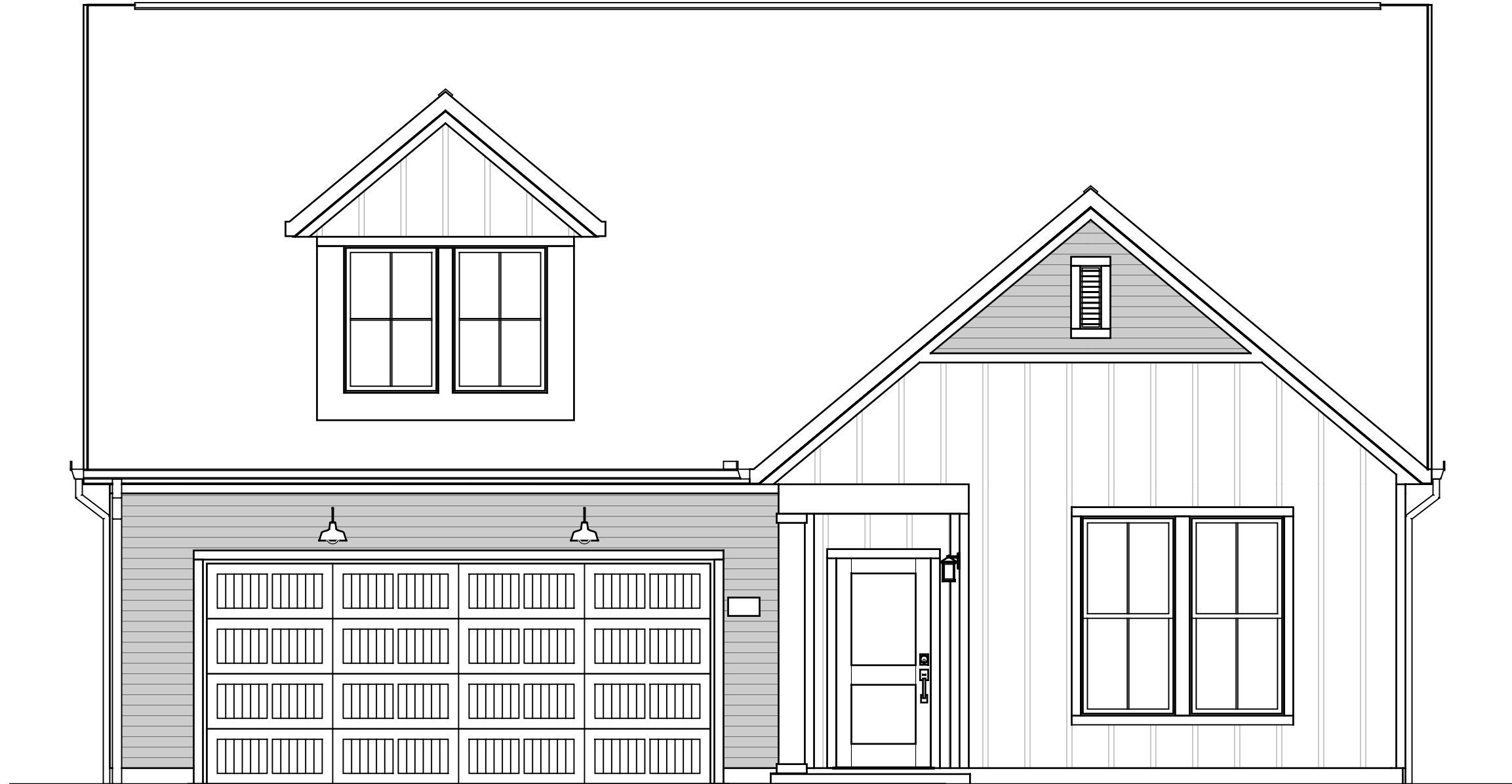
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CAPRI (DR-0) UNIT RANCH ELEVATION D

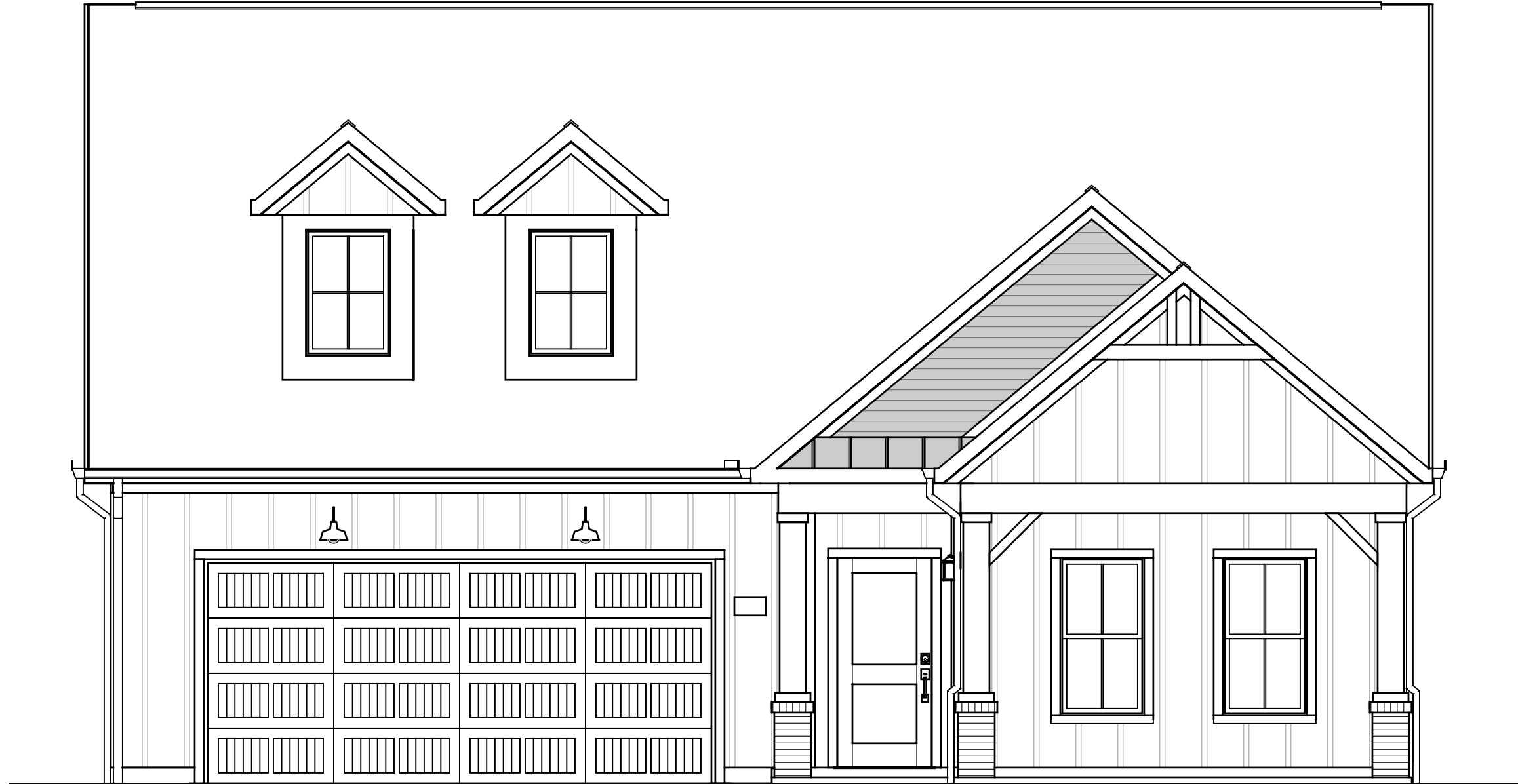


NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS

**CAPRI (DR-0) UNIT
BONUS ELEVATION A**



**CAPRI (DR-0) UNIT
BONUS ELEVATION B**

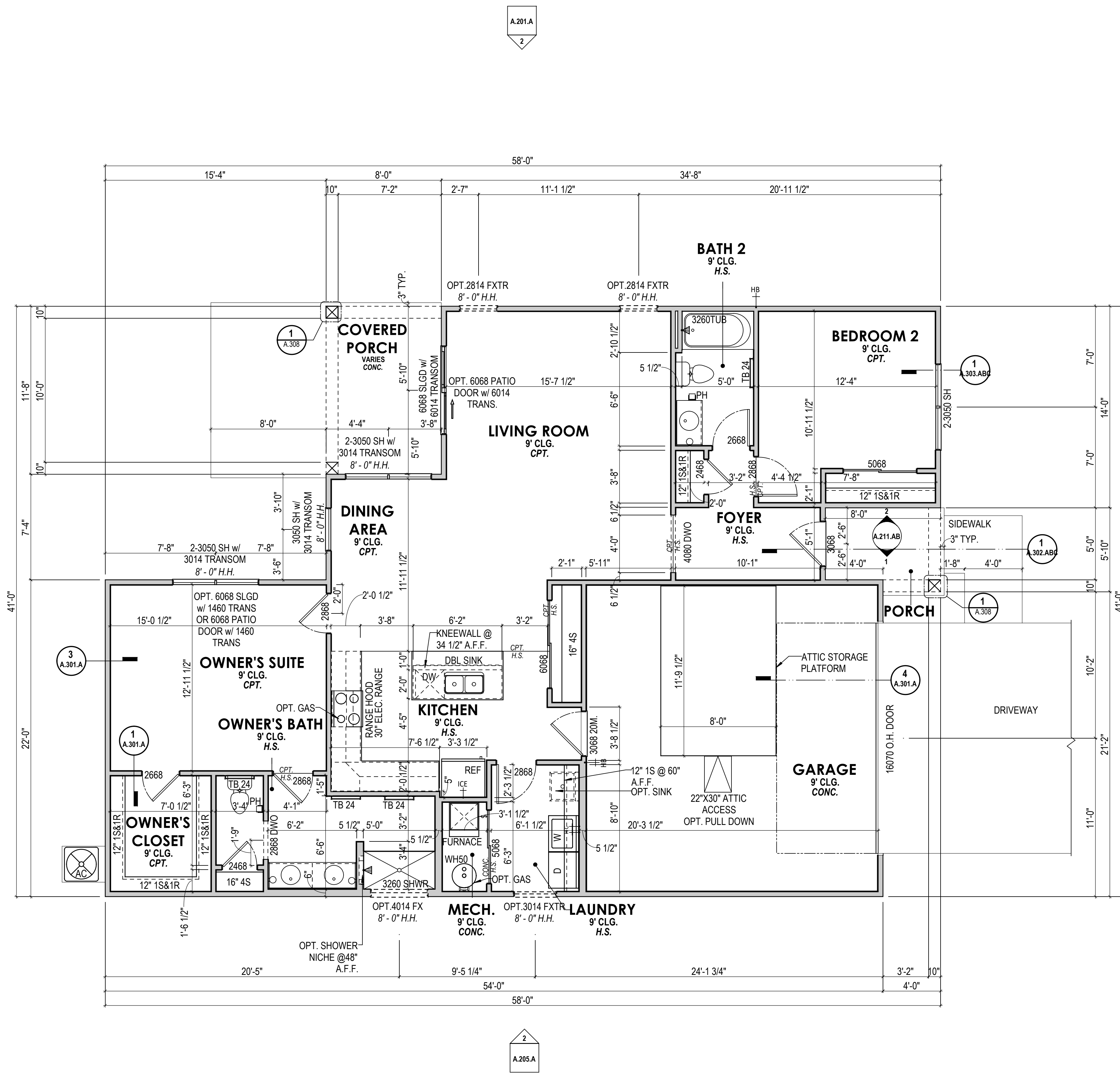




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CAPRI (DR-0) UNIT BONUS ELEVATION C





1
ELEVATION A
1ST FLOOR PLAN
 1/4" = 1'-0" ELV-100021-M5

- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
 11. 8'-0" TALL INTERIOR DOORS OPTIONAL AT ALL FIRST FLOOR LOCATIONS.

ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

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COMMUNITY REVISIONS	REMARKS
REV. NO. DATE	
PROTOTYPE REVISION DATE	

1ST FLOOR PLAN - ELEV. A

Pipeline Code: DR-0
 Architectural Style: CRAFTSMAN
 Garage Handing: LEFT

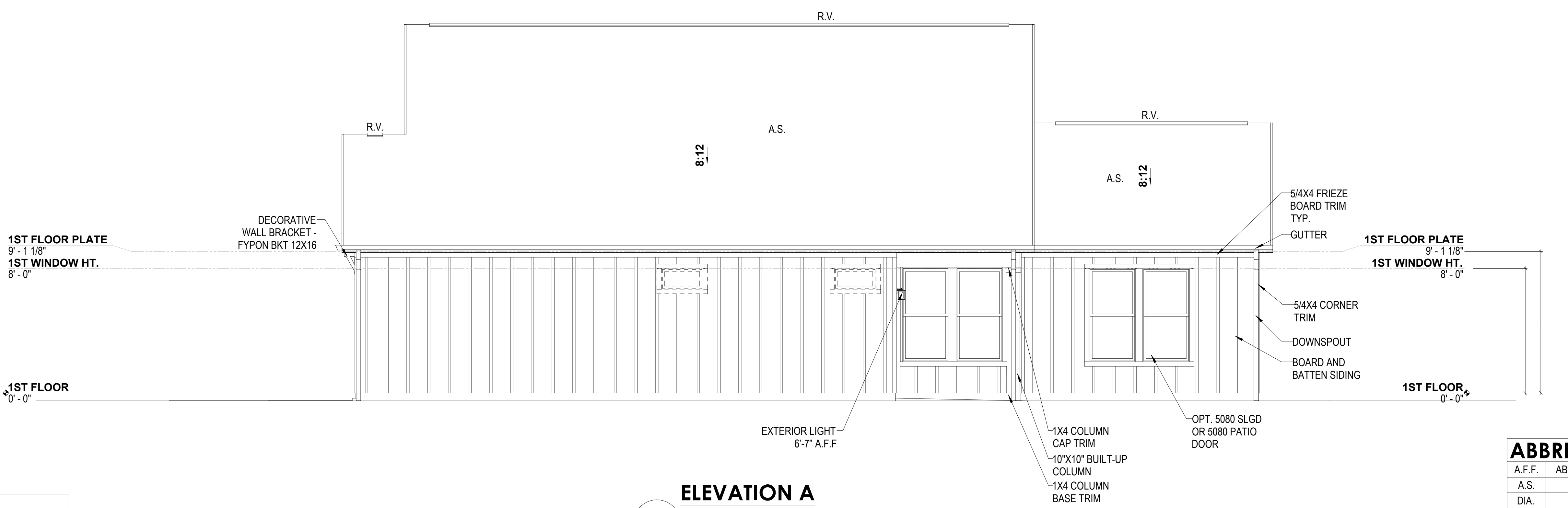
EPCON COMMUNITIES FRANCHISING

LOCATION:
 SHEET NUMBER
A.121.A

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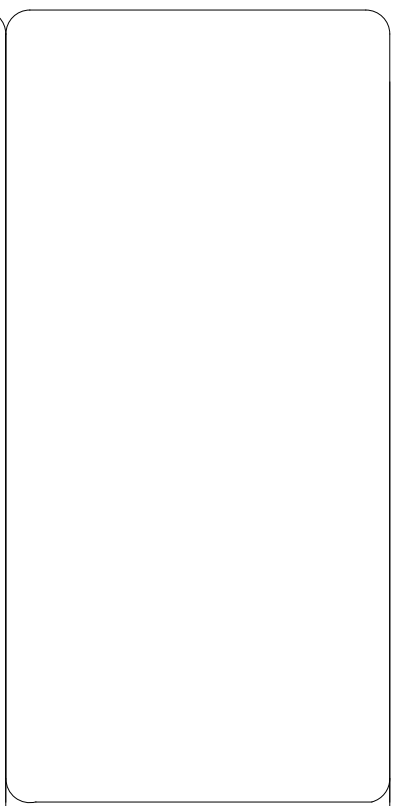


- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

2
ELEVATION A
RIGHT VIEW
 1/4" = 1'-0" ELV-100021-MS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE
09/20/23

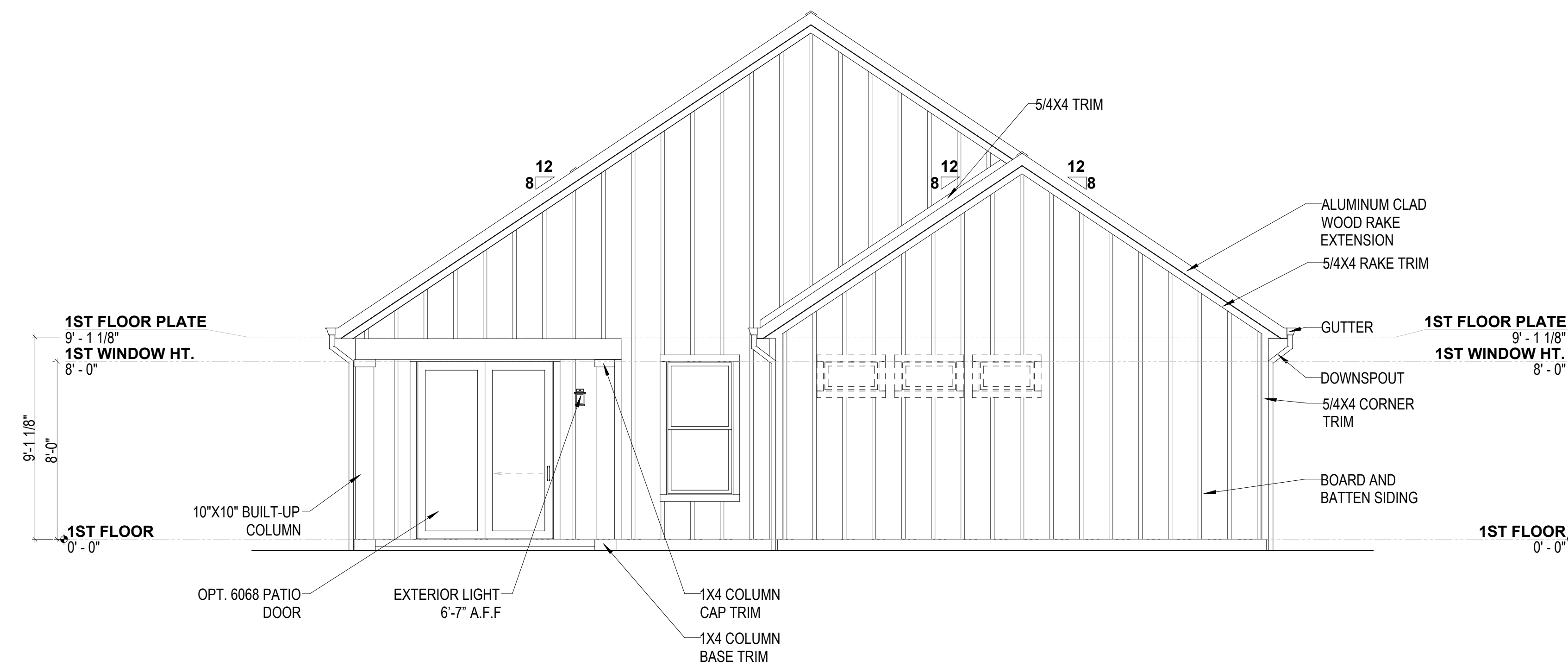
ELEVATIONS	Pipeline Code: DR-1 Architectural Style: FARMHOUSE Garage Hanging: LEFT
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Organization Name	PROJECT ADDRESS GOES HERE
LOCATION	LOT #

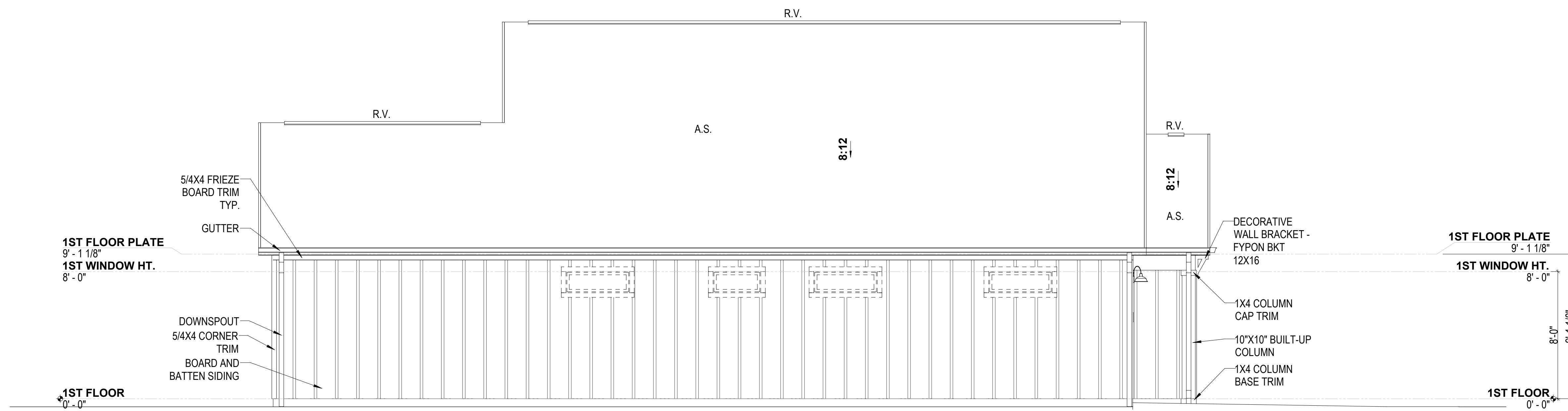
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1
ELEVATION A
REAR VIEW
 1/4" = 1'-0" ELV-100021-MS

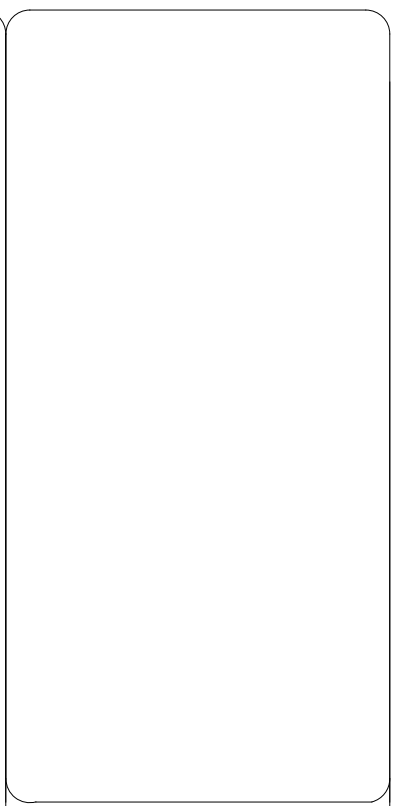


2
ELEVATION A
LEFT VIEW
 1/4" = 1'-0" ELV-100021-MS

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 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

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OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



COMMUNITY REVISIONS
REV. NO.
DATE
REMARKS

PROTOTYPE REVISION DATE
09/20/23

ELEVATIONS
Pipeline Code: DR-1
Architectural Style: FARMHOUSE
Garage Handing: LEFT

Organization Name
LOCATION: PROJECT ADDRESS GOES HERE
LOT #:
LOT NUMBER

SHEET NUMBER
A.205.A

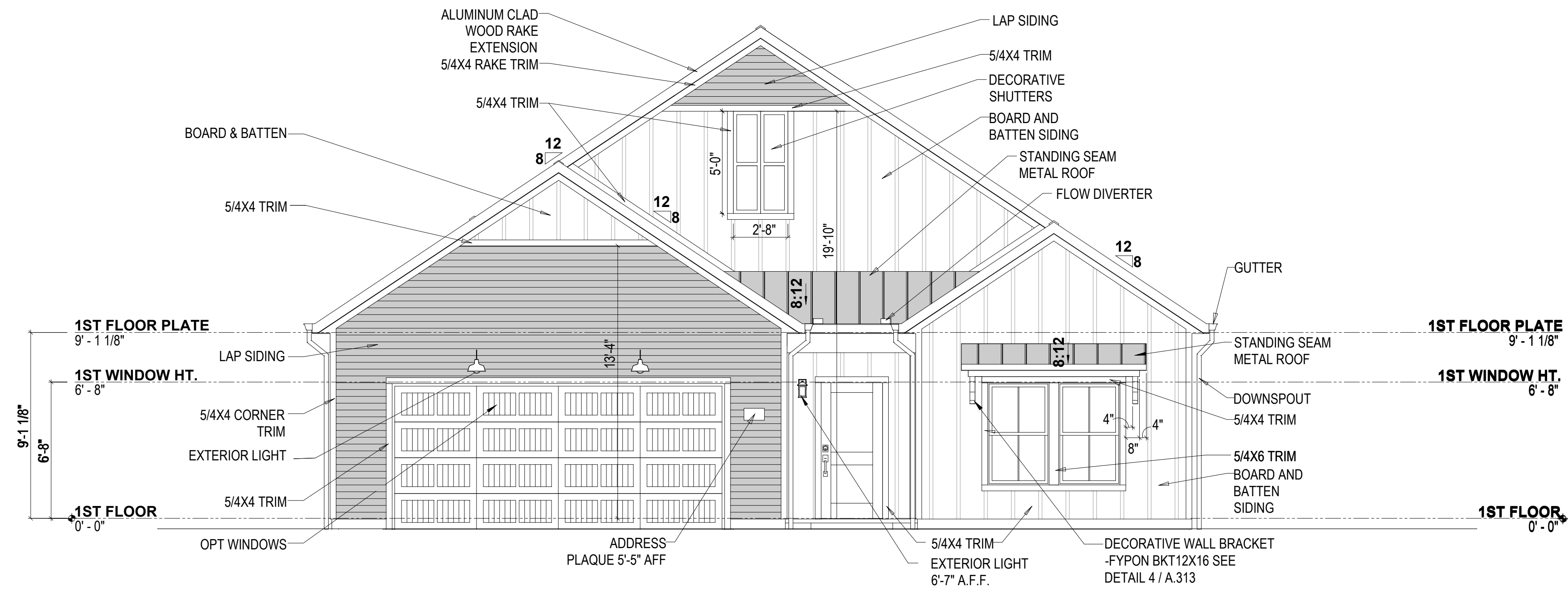
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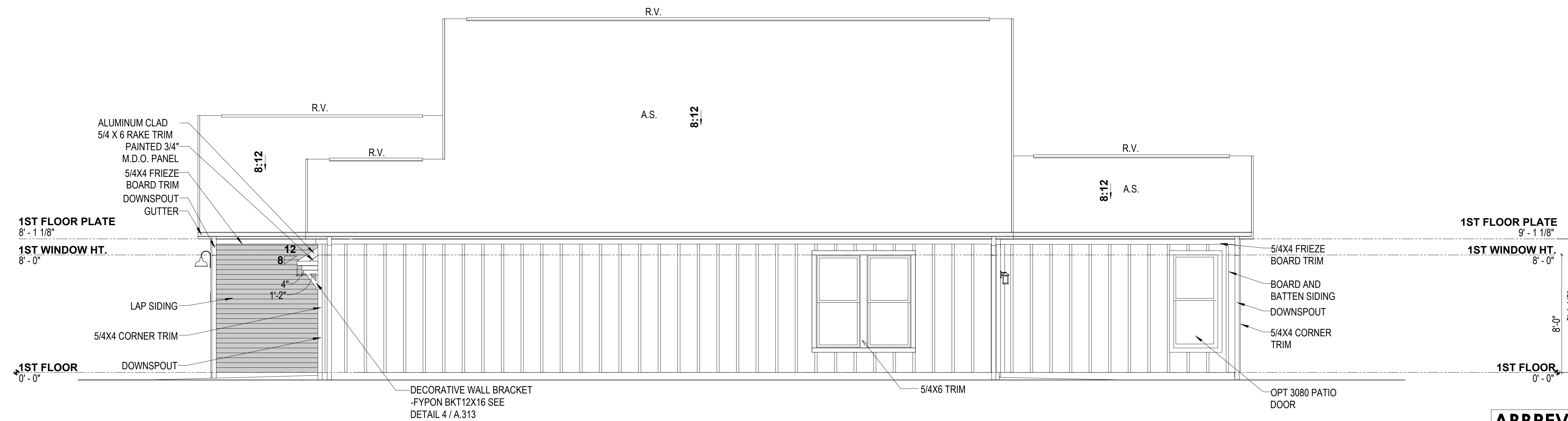
4155

DR-2 Salerno

Epcon Communities: Unit Type DR-1 - "Salerno"
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1
**ELEVATION A
FRONT VIEW**
1/4" = 1'-0" ELV-100021-MS



2
**ELEVATION A
RIGHT VIEW**
1/4" = 1'-0" ELV-100021-MS

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w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

Organization Name

LOCATION: PROJECT ADDRESS GOES HERE

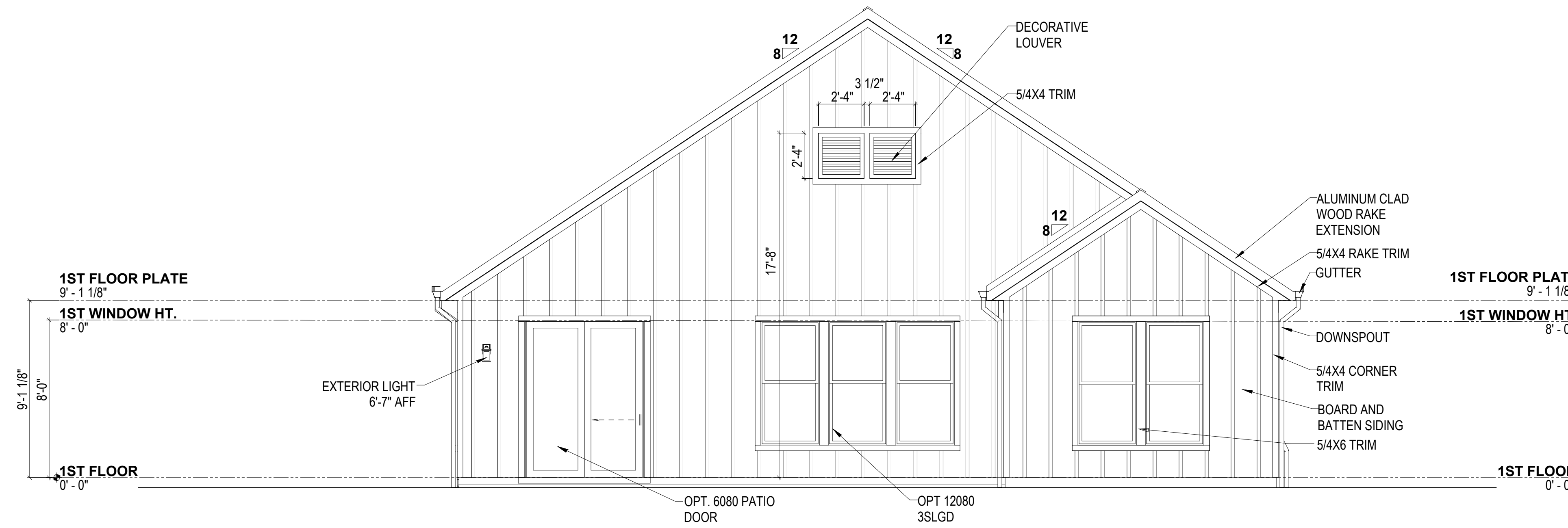
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LOT NUMBER

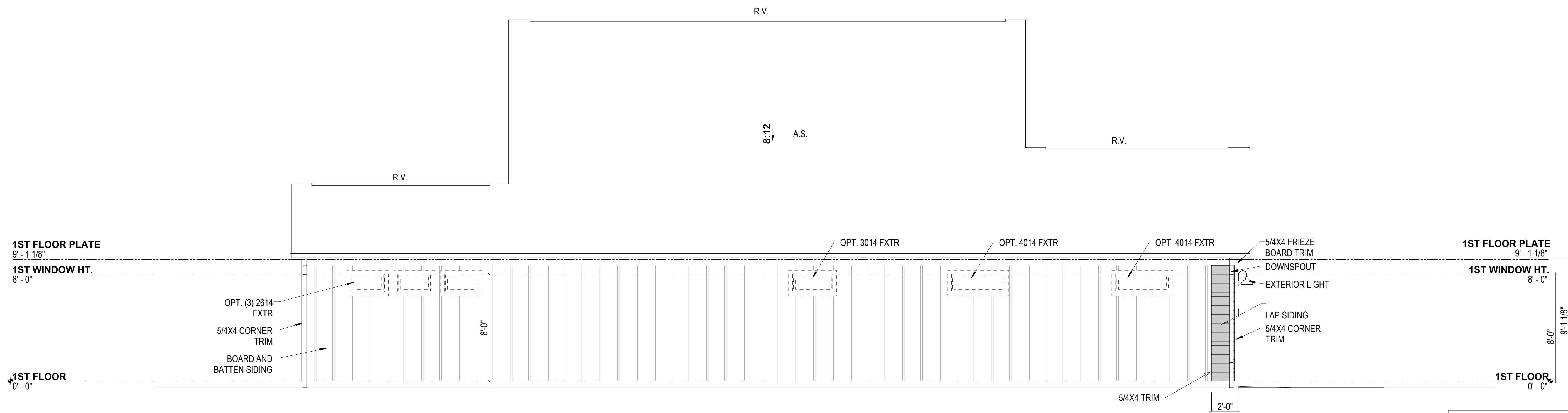
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1
**ELEVATION A
REAR VIEW**
1/4" = 1'-0" ELV-100021-MS



2
**ELEVATION A
LEFT VIEW**
1/4" = 1'-0" ELV-100021-MS

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COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

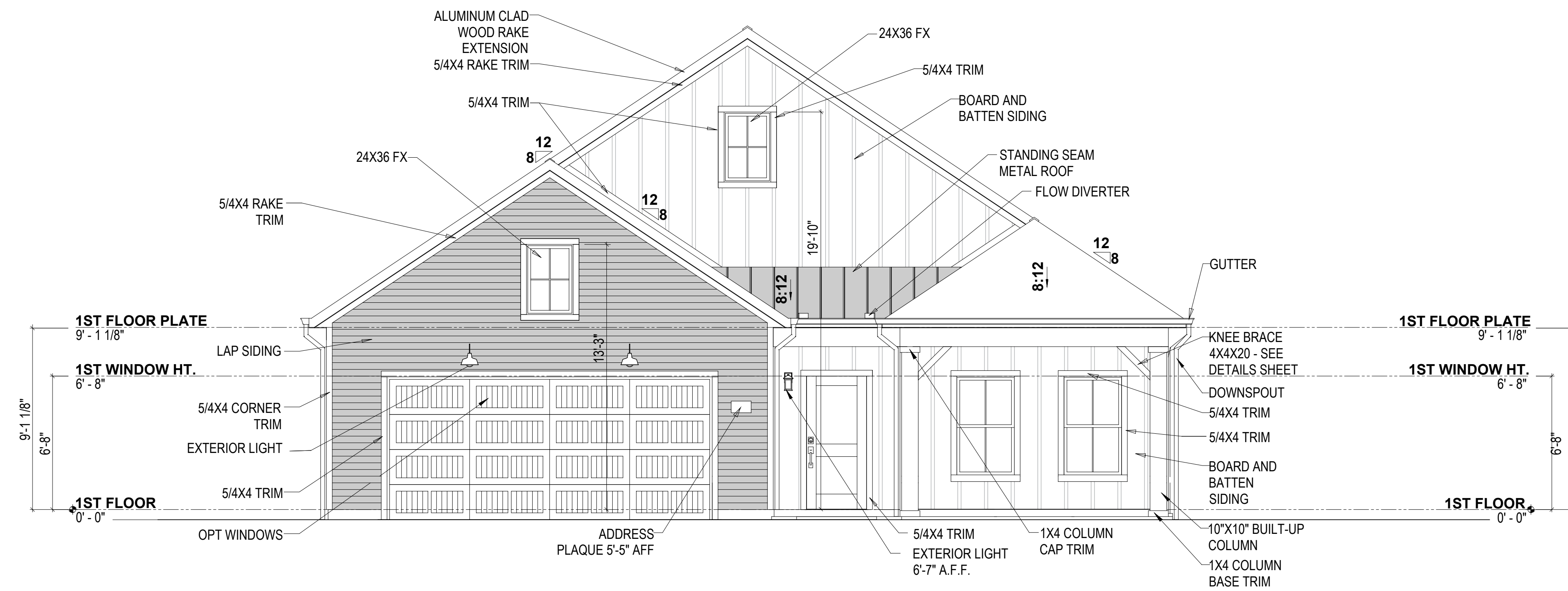
ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

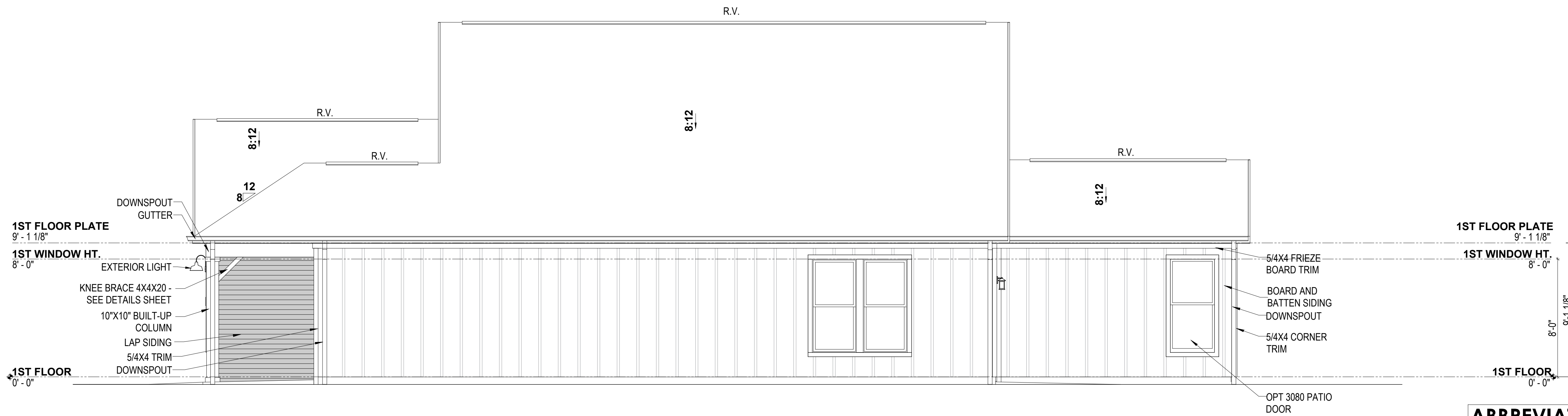
Organization Name
LOCATION: PROJECT ADDRESS GOES HERE
LOT #:
LOT NUMBER

SHEET NUMBER
A.205.A

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1 ELEVATION B FRONT VIEW
1/4" = 1'-0" ELV-100022-MS



2 ELEVATION B RIGHT VIEW
1/4" = 1'-0" ELV-100022-MS

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w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

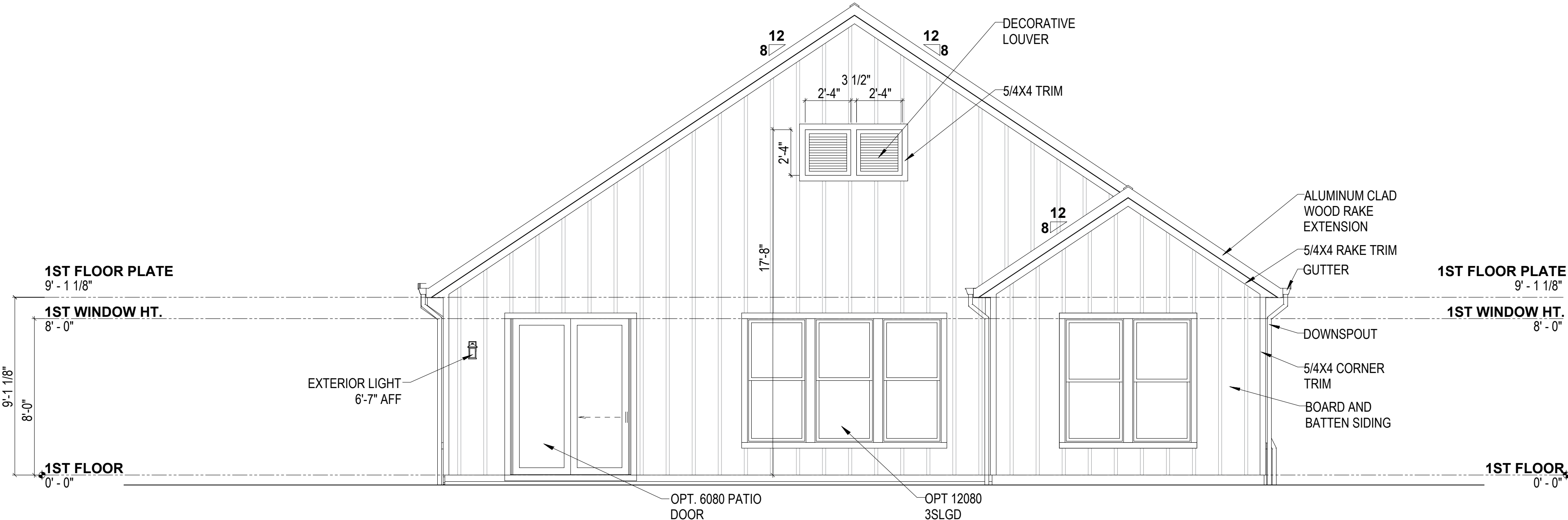
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Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

Organization Name

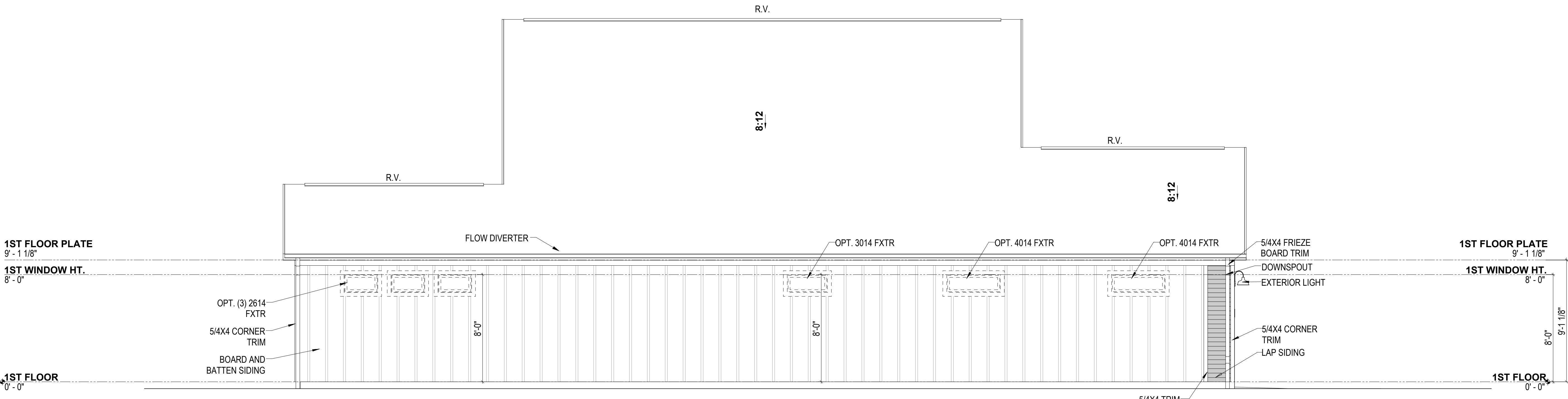
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LOT #:	LOT NUMBER

SHEET NUMBER
A.201.B

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1
ELEVATION B
REAR VIEW
 1/4" = 1'-0" ELV-100021-MS




2
ELEVATION B
LEFT VIEW
 1/4" = 1'-0" ELV-100021-MS

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COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS	Pipeline Code: DR-1
	Architectural Style: FARMHOUSE
	Garage Handing: LEFT

Organization Name	PROJECT ADDRESS GOES HERE
LOCATION:	LOT #:
SHEET NUMBER	A.205.B

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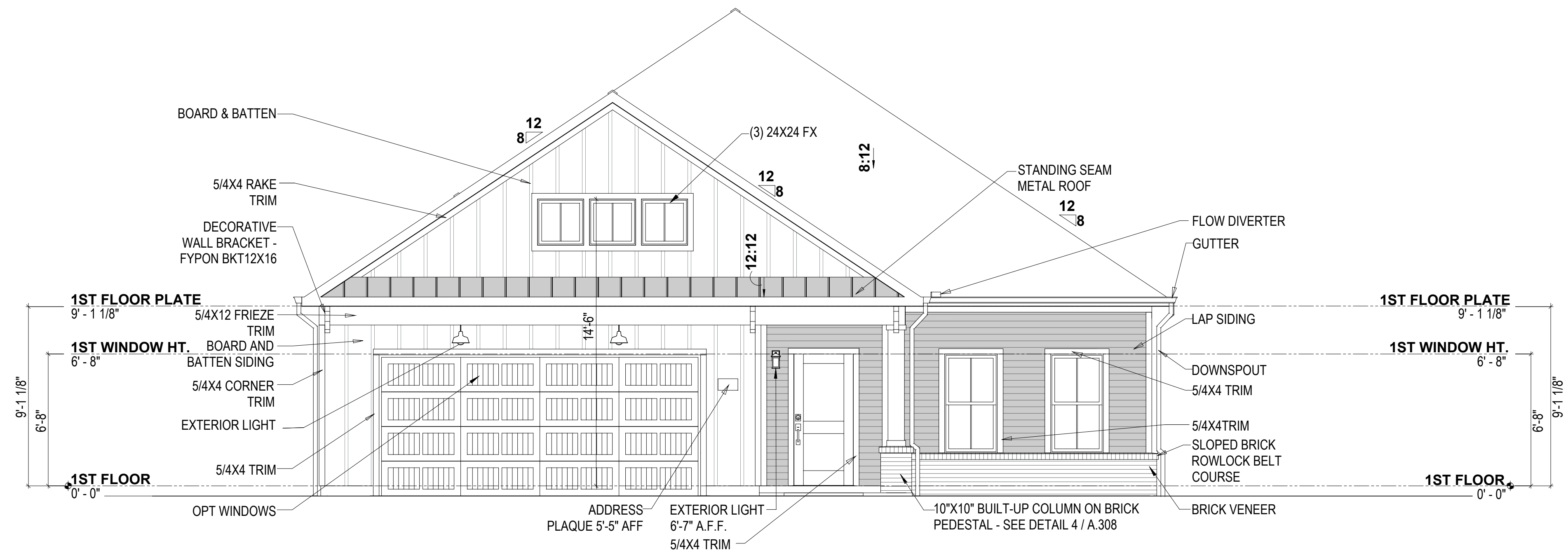
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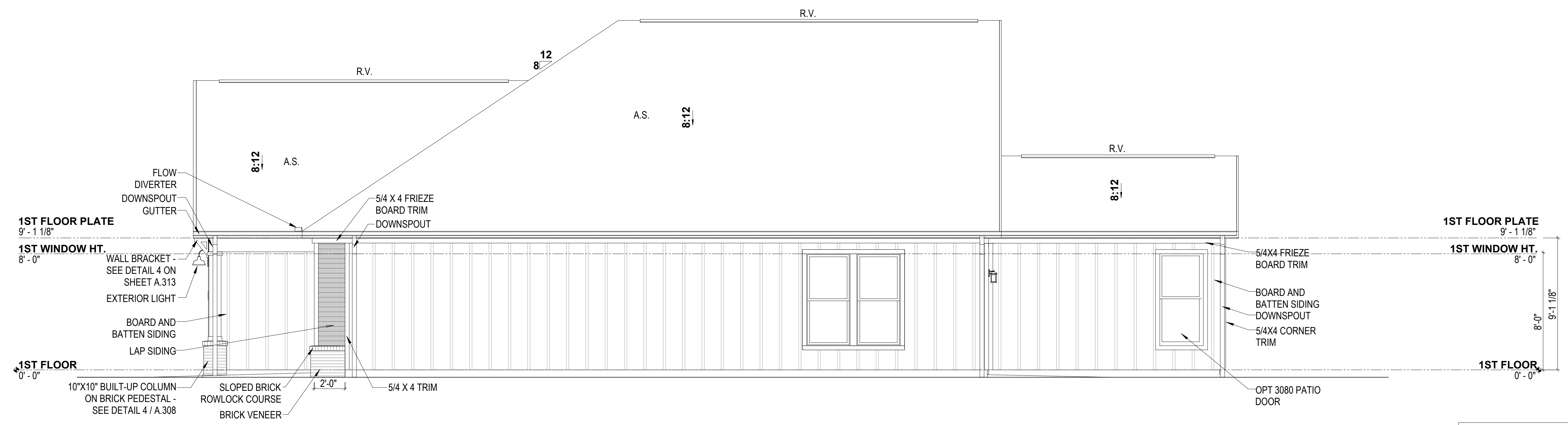
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1 ELEVATION C FRONT VIEW
 1/4" = 1'-0" ELV-100023-MS



2 ELEVATION C RIGHT VIEW
 1/4" = 1'-0" ELV-100023-MS

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w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

Organization Name

LOCATION: PROJECT ADDRESS GOES HERE

LOT #: LOT NUMBER

SHEET NUMBER

A.201.C

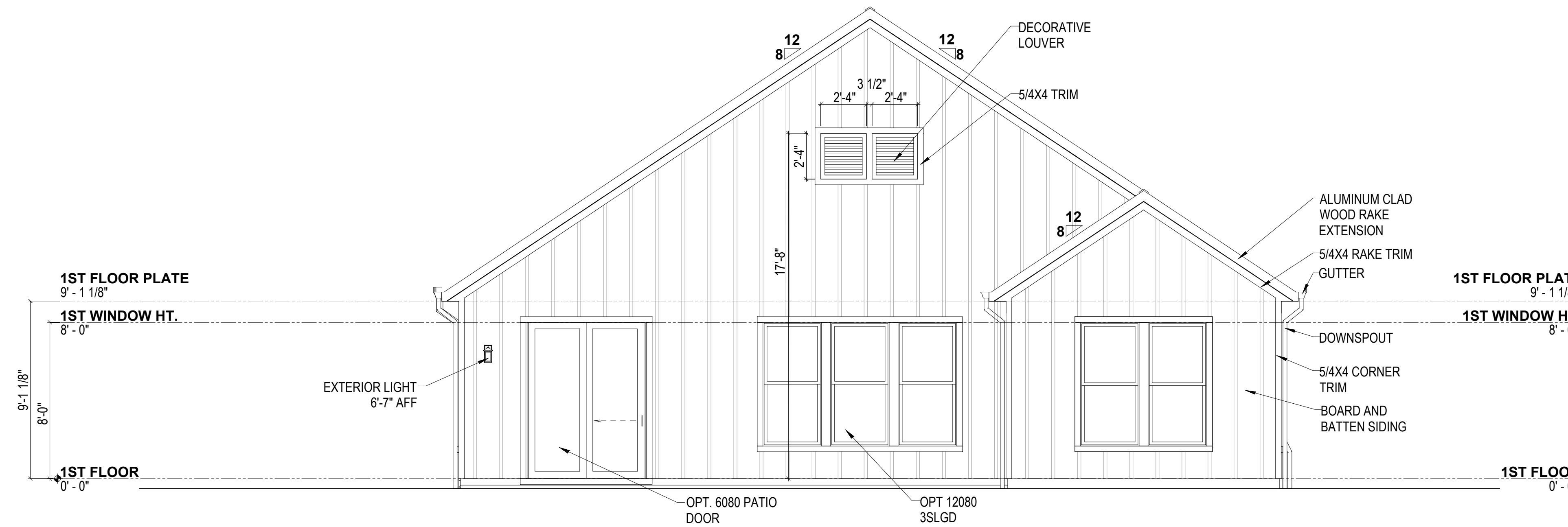
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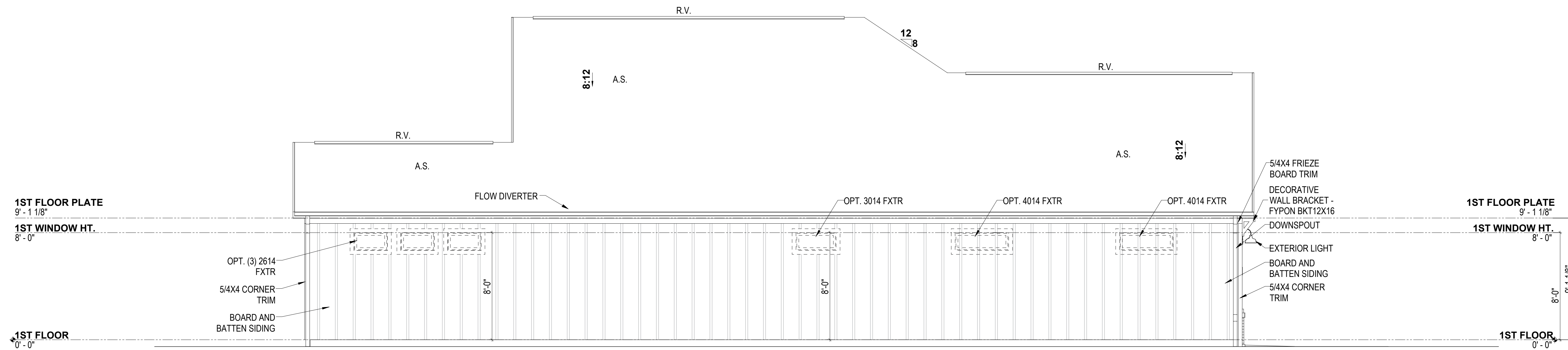
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IP86 LLC
 EPICON COMMUNITIES FRANCHISING, LLC



1
ELEVATION C
REAR VIEW
1/4" = 1'-0" ELV-100021-MS



2
ELEVATION C
LEFT VIEW
1/4" = 1'-0" ELV-100021-MS

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R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

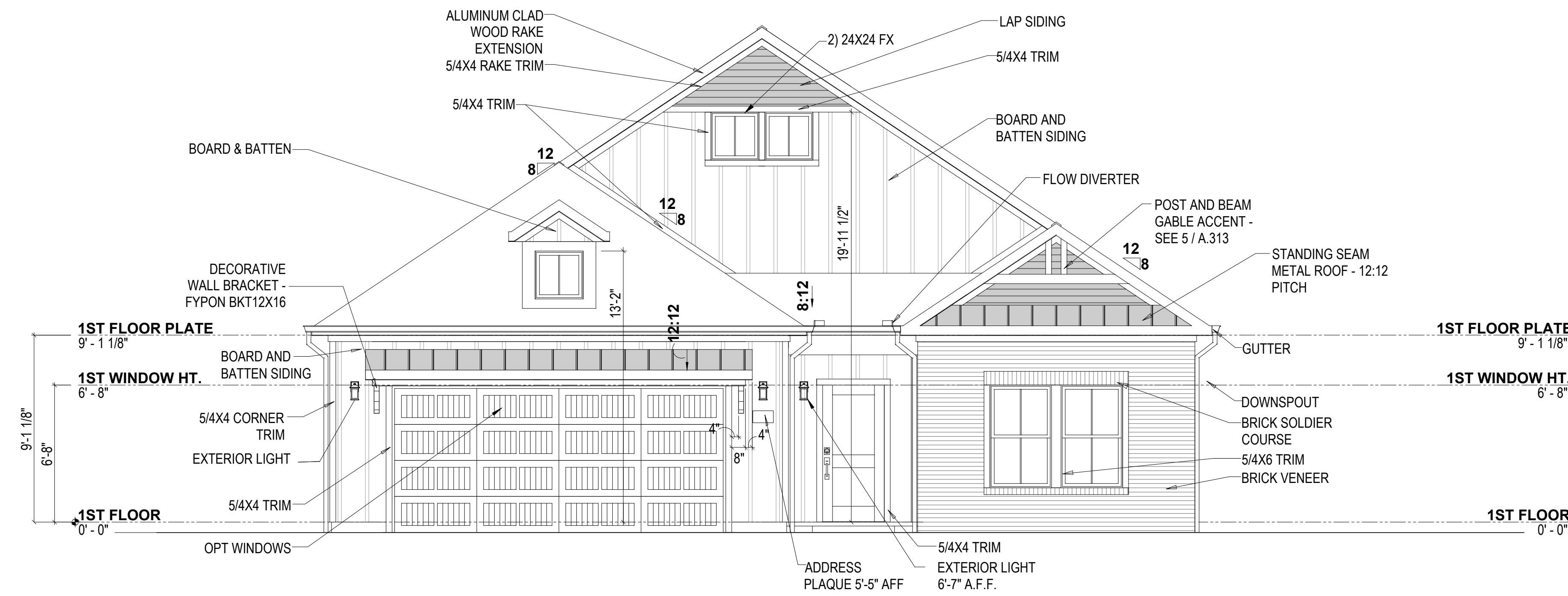
Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handling:	LEFT

Organization Name

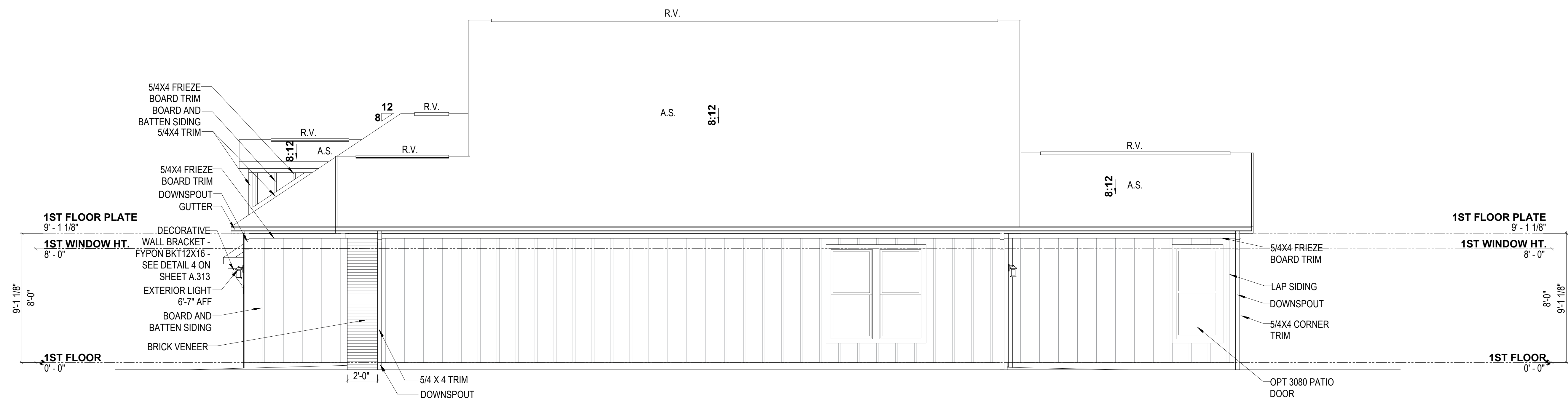
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LOT #:	LOT NUMBER

SHEET NUMBER
A.205.C

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IP86 LLC
IP86 COMMUNITIES FRANCHISING, LLC



1
ELEVATION D
FRONT VIEW
1/4" = 1'-0" ELV-100021-MS



2
ELEVATION D
RIGHT VIEW
1/4" = 1'-0" ELV-100021-MS

- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
D.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

Organization Name

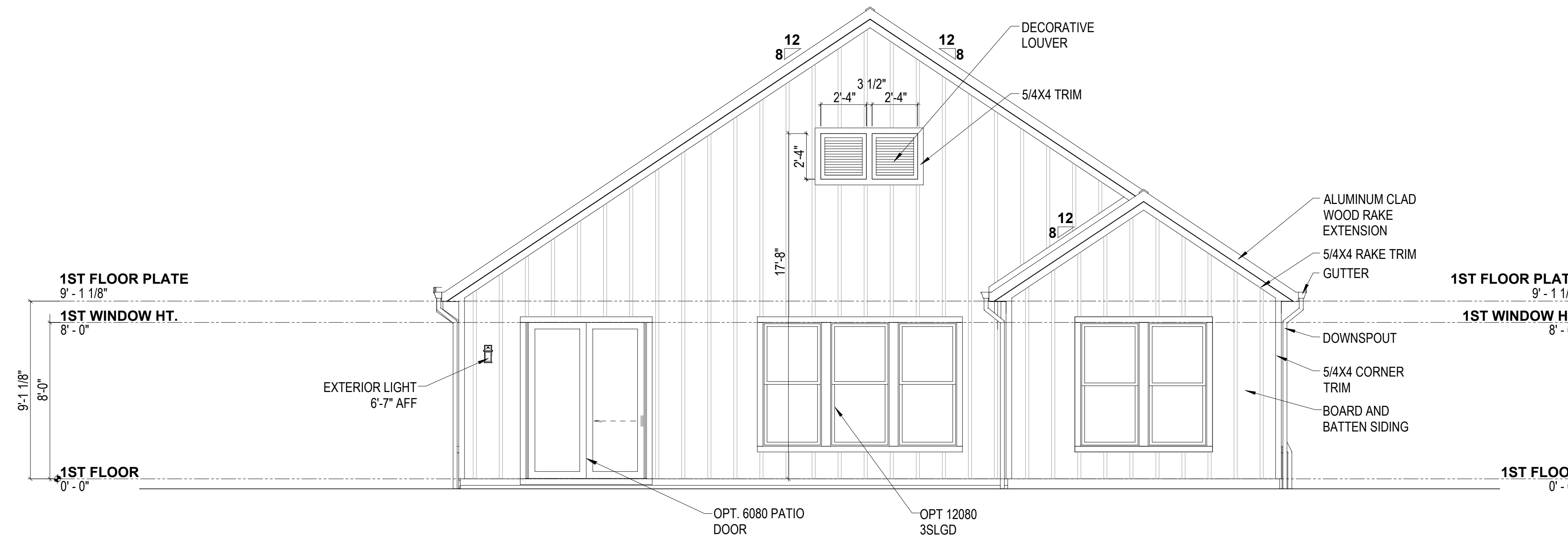
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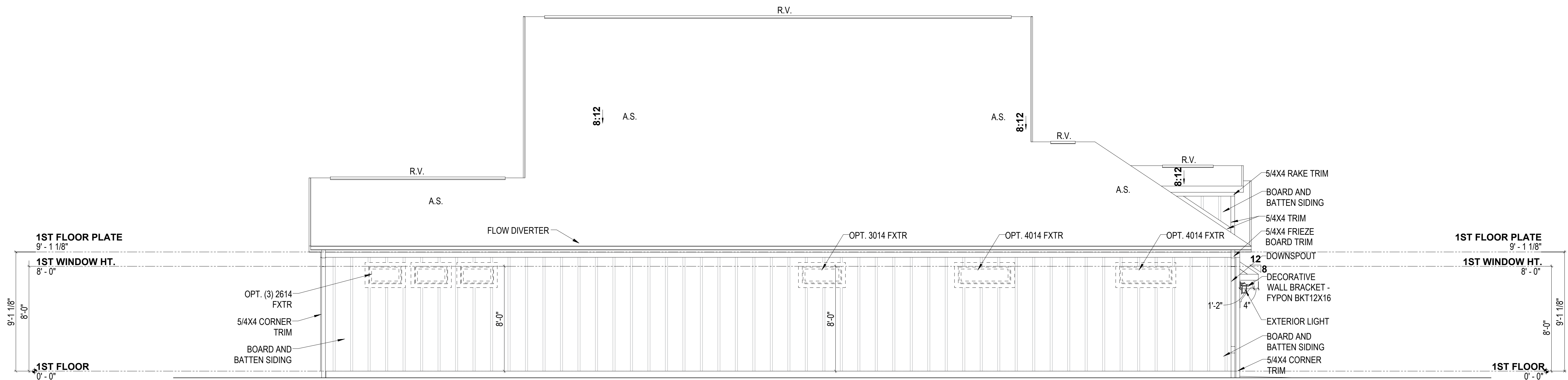
SHEET NUMBER
A.201.D

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1
ELEVATION D
REAR VIEW
1/4" = 1'-0" ELV-100021-MS



2
ELEVATION D
LEFT VIEW
1/4" = 1'-0" ELV-100021-MS

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w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

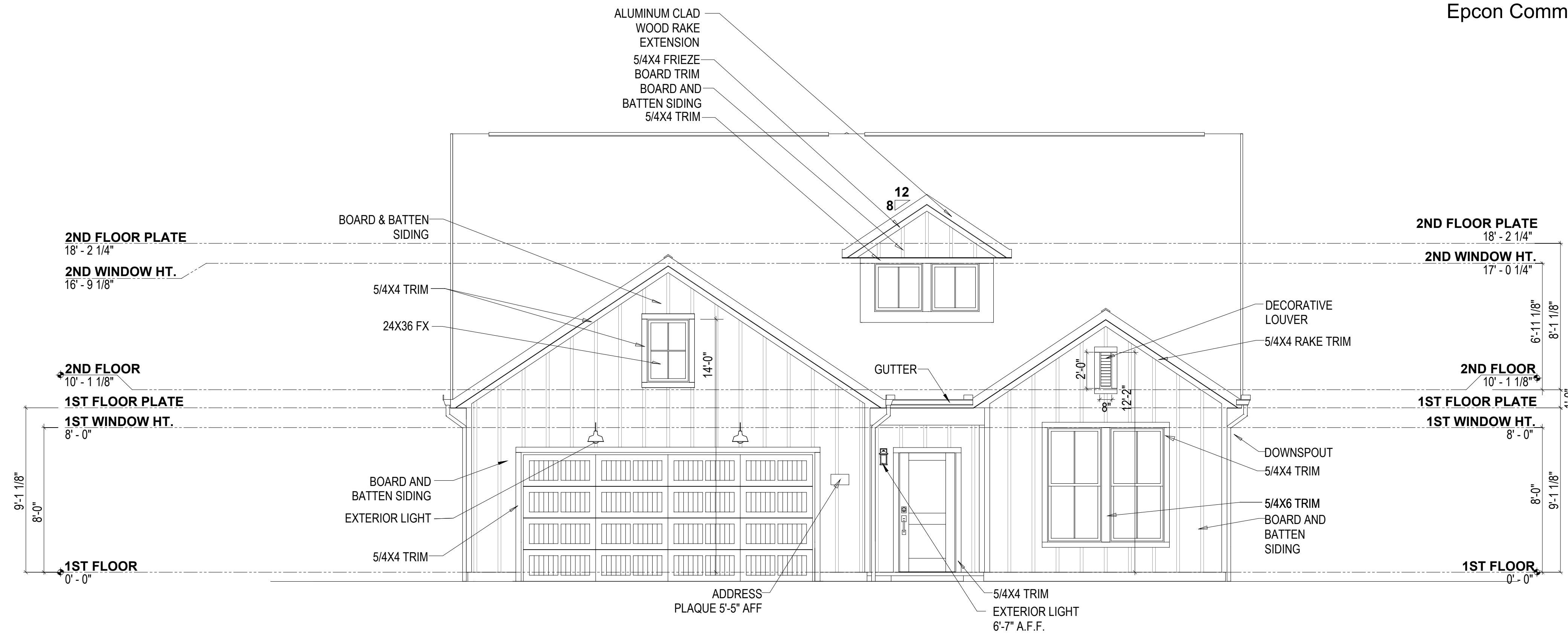
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LOCATION: PROJECT ADDRESS GOES HERE

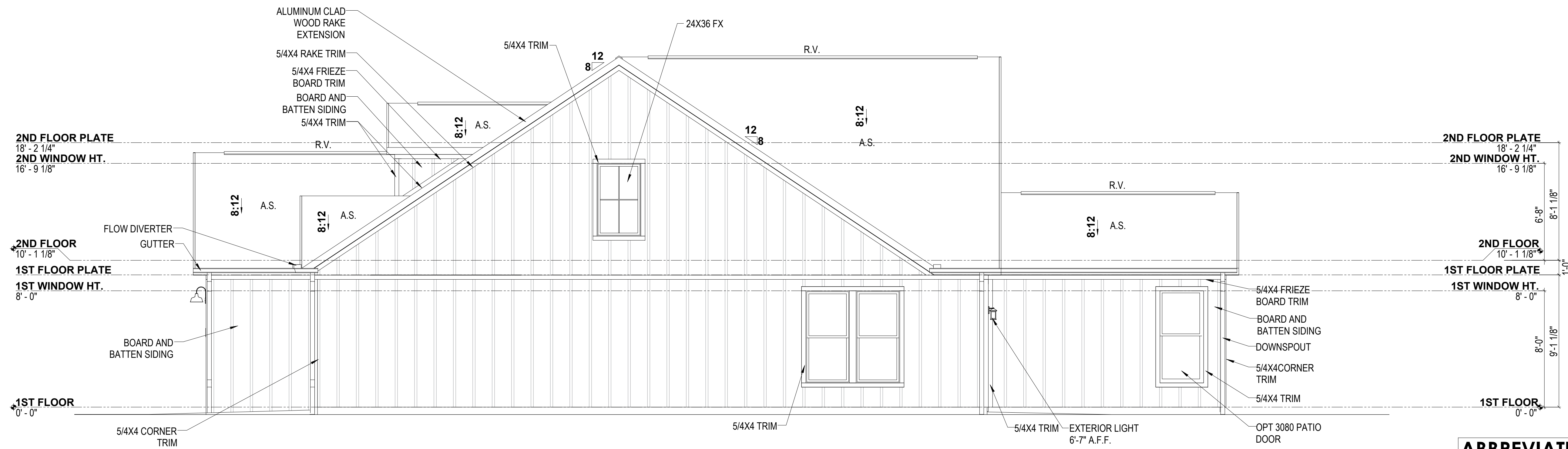
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SHEET NUMBER
A.205.D

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IP86 LLC, EPICON COMMUNITIES FRANCHISING, LLC



1
ELEVATION A, BONUS ROOM
FRONT VIEW
1/4" = 1'-0" EXT-312021-MS



2
ELEVATION A, BONUS ROOM
RIGHT VIEW
1/4" = 1'-0" EXT-312021-MS

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w/	WITH

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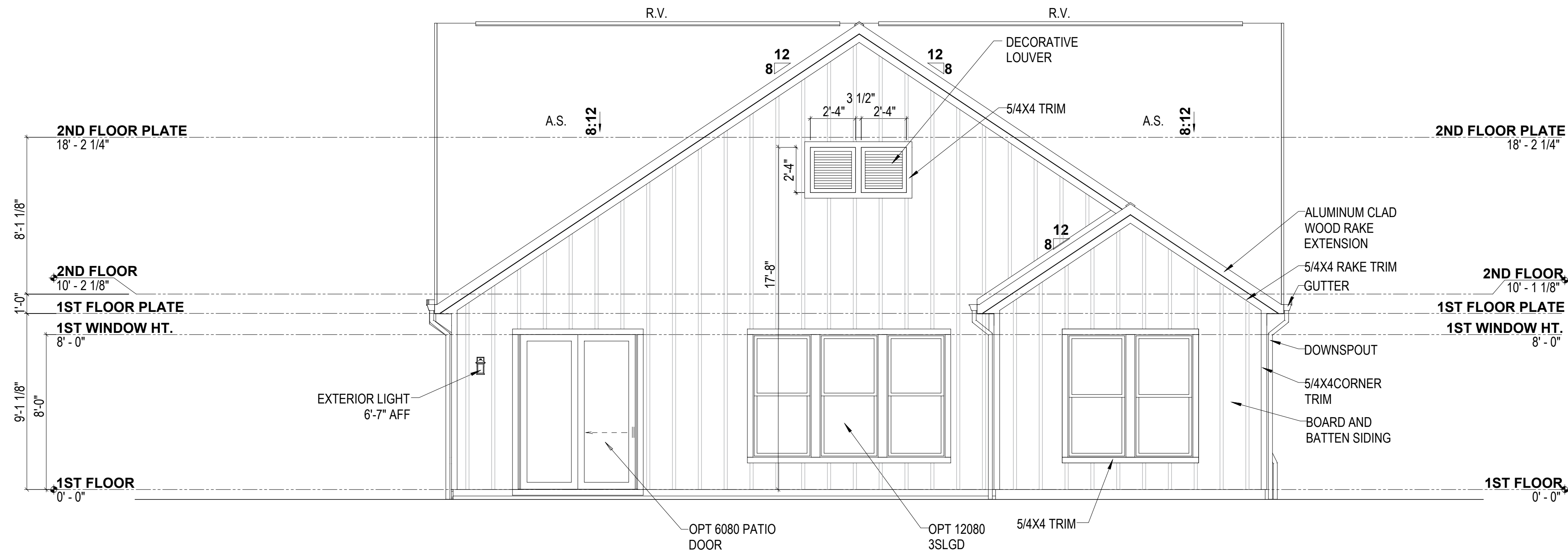
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PROTOTYPE REVISION DATE

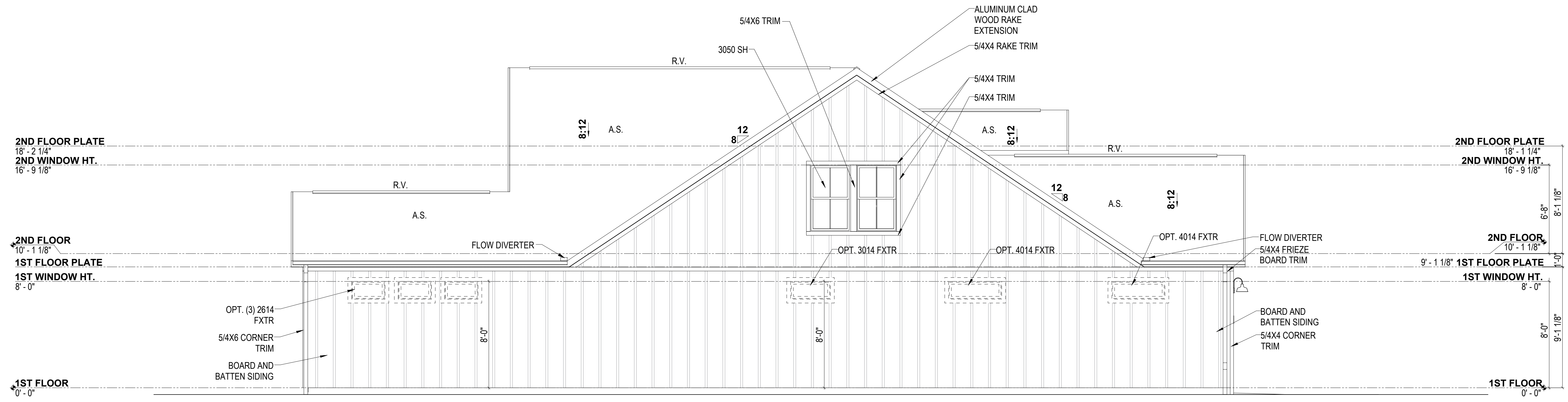
ELEVATIONS	Pipeline Code: DR-1
	Architectural Style: FARMHOUSE
	Garage Handing: LEFT

Organization Name	PROJECT ADDRESS GOES HERE
LOCATION:	LOT #:
LOT #:	LOT NUMBER

SHEET NUMBER
A.202B.A



1
ELEVATION A, BONUS ROOM
REAR VIEW
 1/4" = 1'-0" EXT-312021-MS



2
ELEVATION A, BONUS ROOM
LEFT VIEW
 1/4" = 1'-0" EXT-312021-MS

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w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	CRAFTSMAN
Garage Hanging:	LEFT

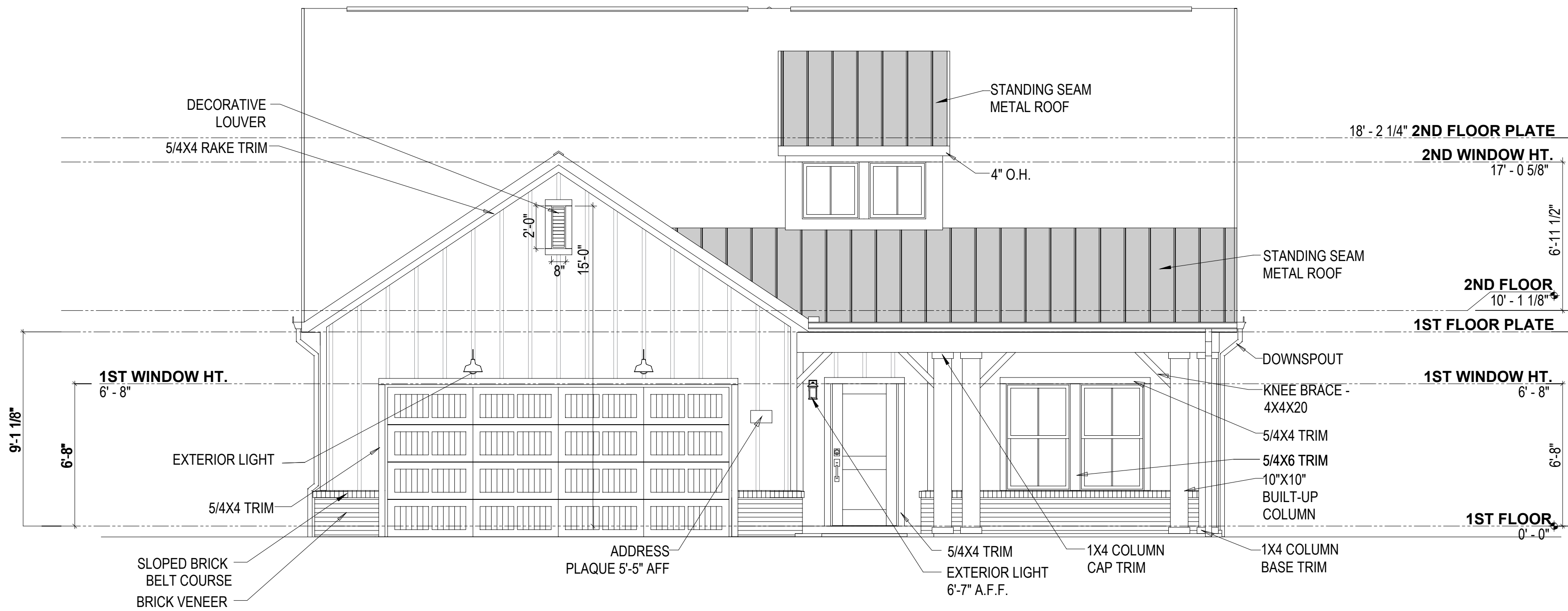
Organization Name

LOCATION: PROJECT ADDRESS GOES HERE

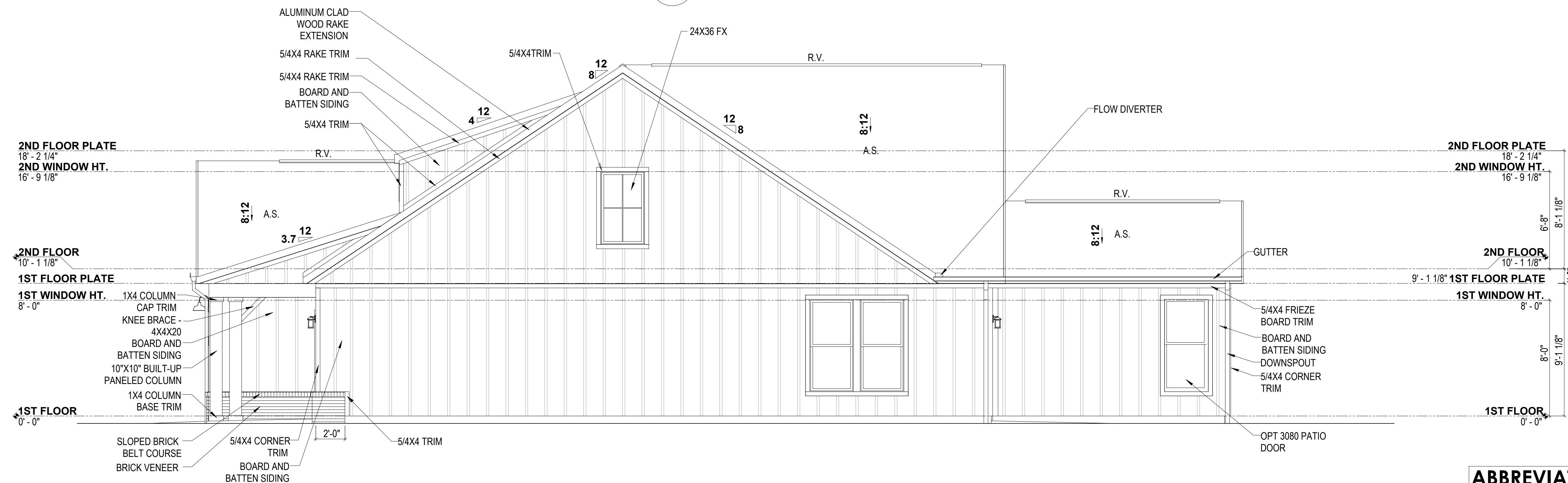
LOT #: LOT NUMBER

SHEET NUMBER
A.206B.A

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 EPICON COMMUNITIES FRANCHISING, LLC



1
ELEVATION B, BONUS ROOM
FRONT VIEW
1/4" = 1'-0" EXT-312022-MS



2
ELEVATION B, BONUS ROOM
RIGHT VIEW
1/4" = 1'-0" EXT-312022-MS

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RND.	ROUND
TYP.	TYPICAL
w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

Organization Name

LOCATION: PROJECT ADDRESS GOES HERE

LOT #:

SHEET NUMBER

A.202B.B

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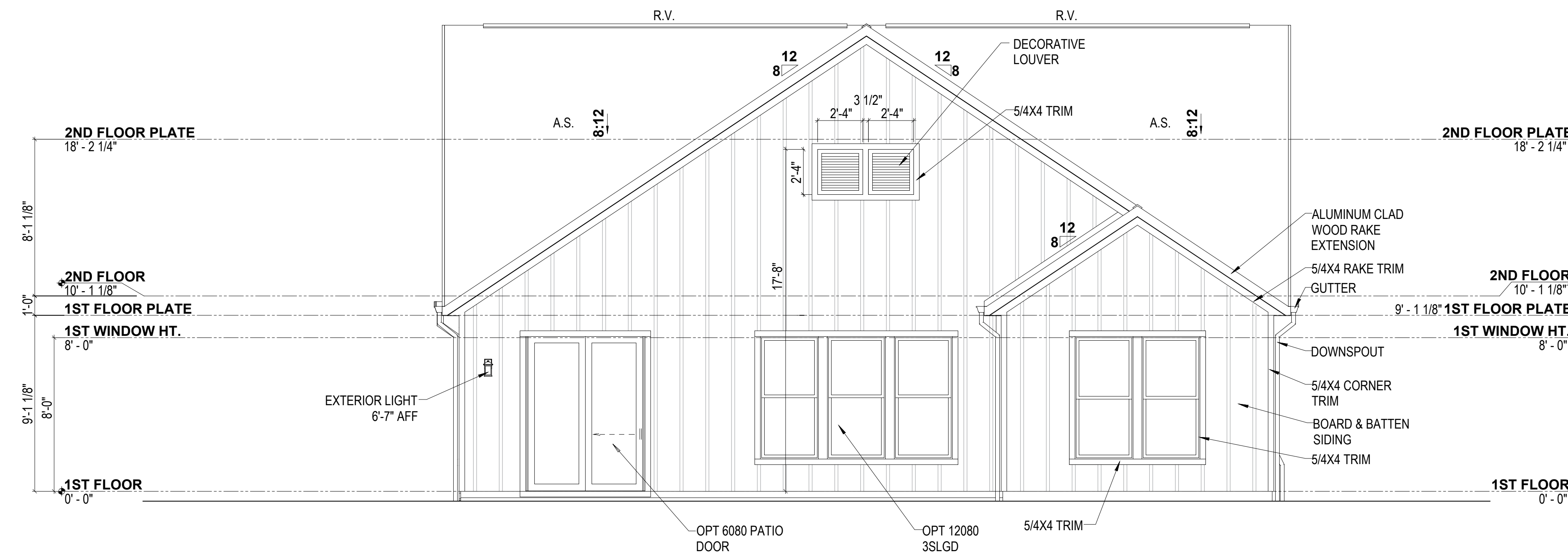
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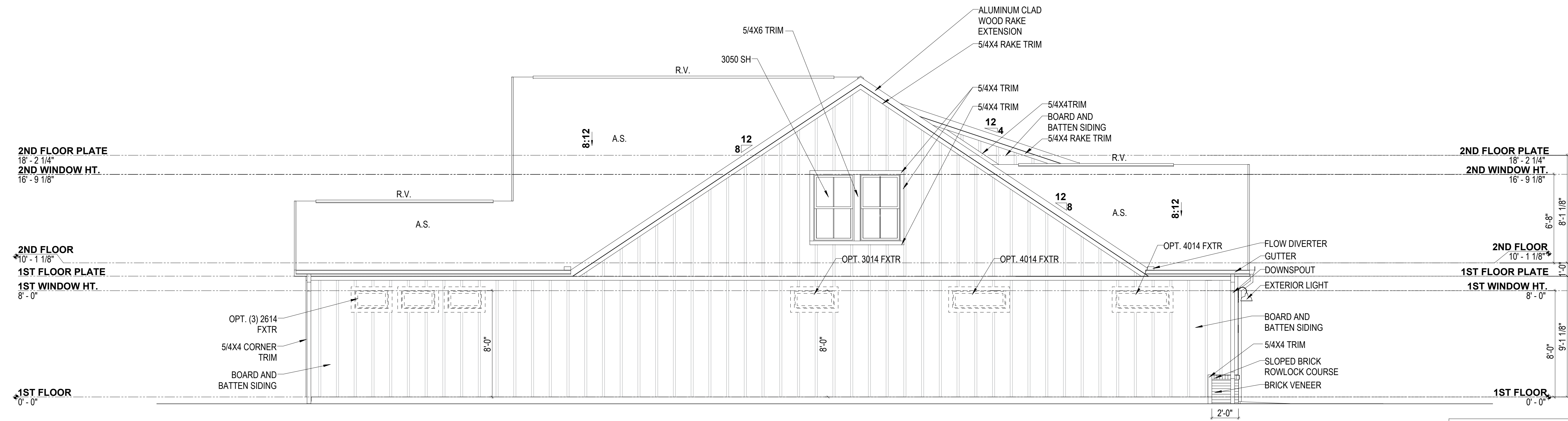
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IP86 LLC
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1
**ELEVATION B, BONUS ROOM
 REAR VIEW**
 1/4" = 1'-0" EXT-312021-MS



2
**ELEVATION B, BONUS ROOM
 LEFT VIEW**
 1/4" = 1'-0" EXT-312021-MS

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RND.	ROUND
TYP.	TYPICAL
w/	WITH

COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE



ELEVATIONS

Pipeline Code:	DR-1
Architectural Style:	CRAFTSMAN
Garage Hanging:	LEFT

Organization Name	PROJECT ADDRESS GOES HERE
LOCATION:	LOT #:
SHEET NUMBER	LOT NUMBER

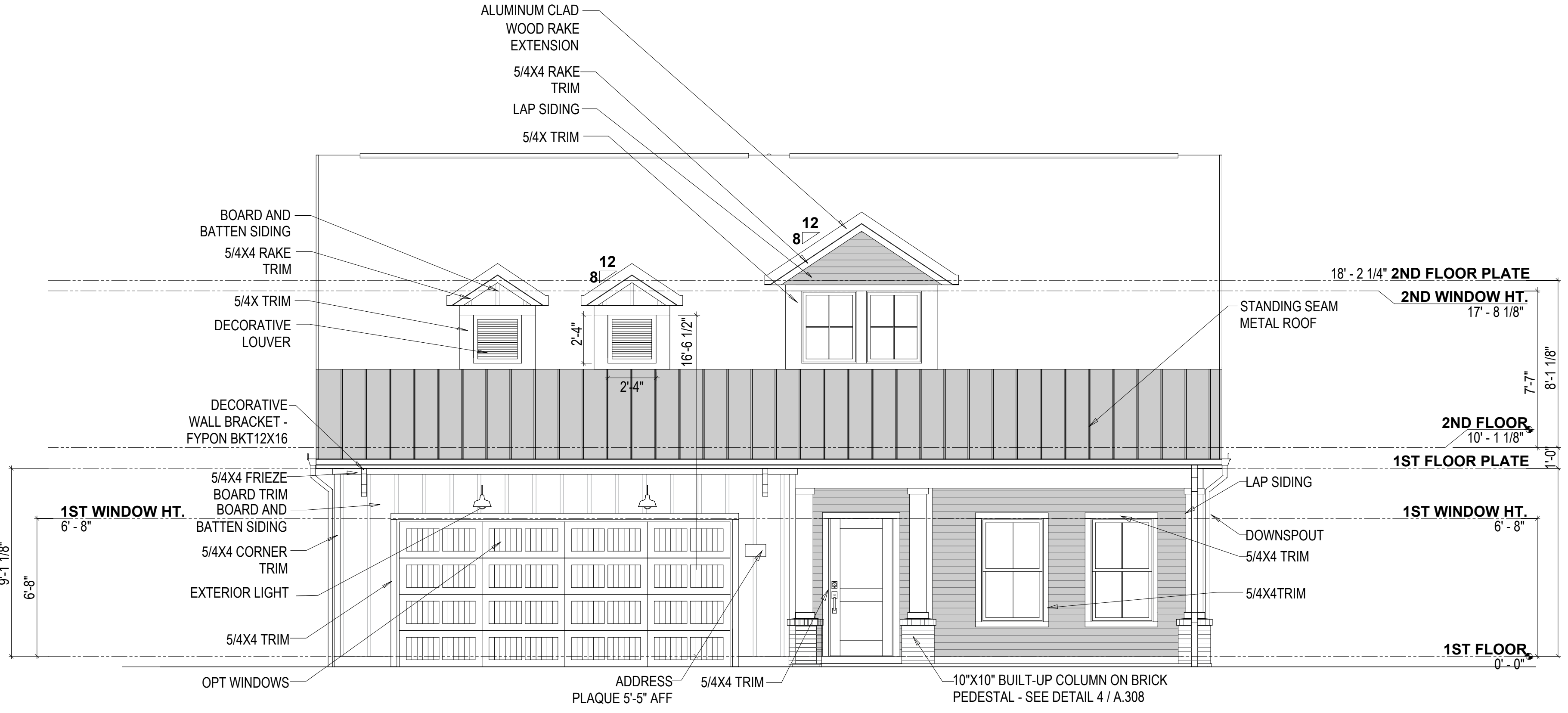
A.206B.B

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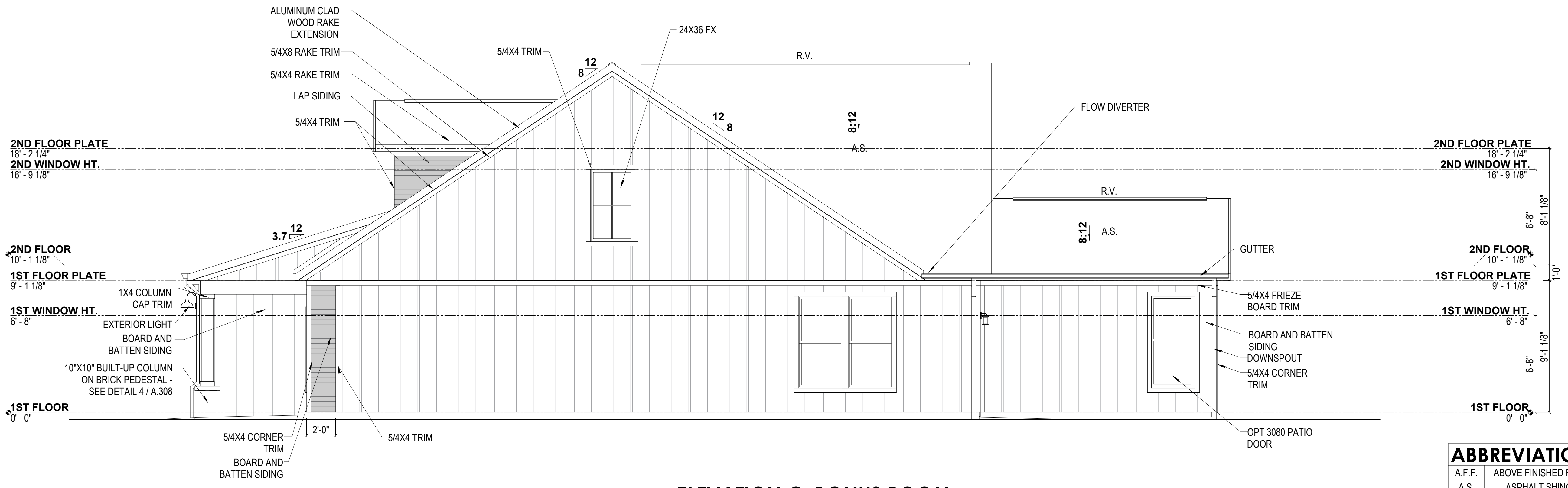
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1
ELEVATION C, BONUS ROOM
FRONT VIEW
 1/4" = 1'-0" EXT-312022-MS



2
ELEVATION C, BONUS ROOM
RIGHT VIEW
 1/4" = 1'-0" EXT-312022-MS

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RND.	ROUND
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A.202B.C

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COMMUNITY REVISIONS

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS

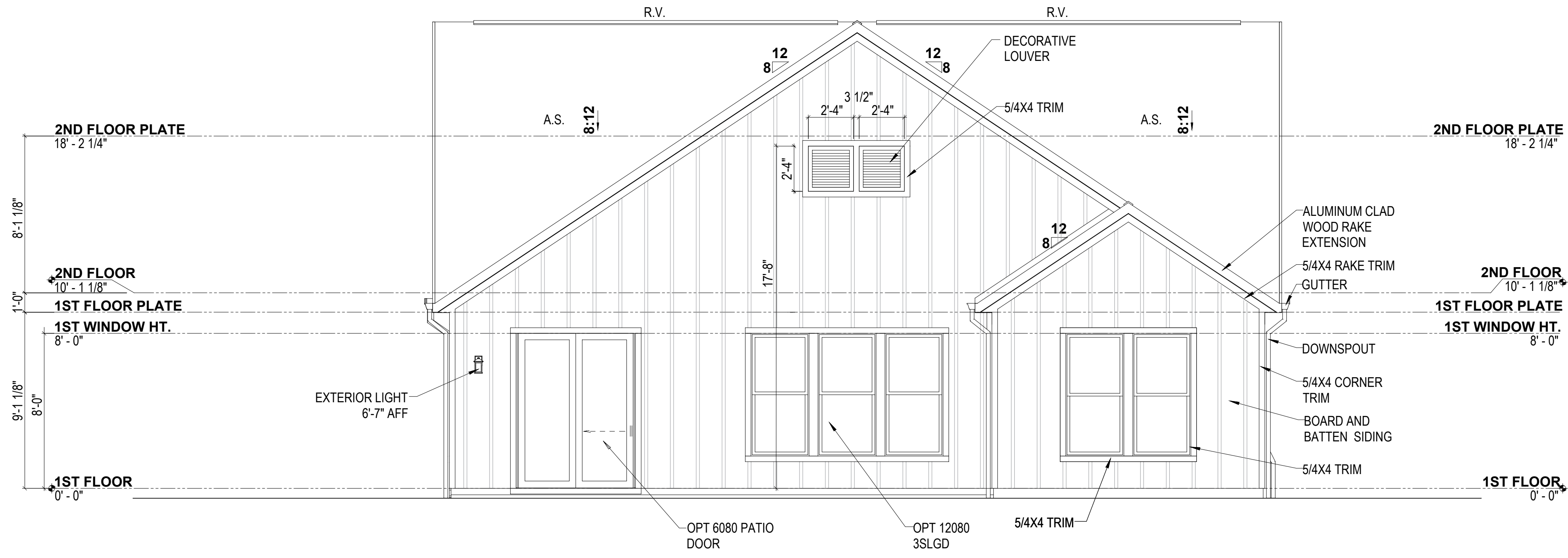
Pipeline Code:	DR-1
Architectural Style:	FARMHOUSE
Garage Hanging:	LEFT

Organization Name

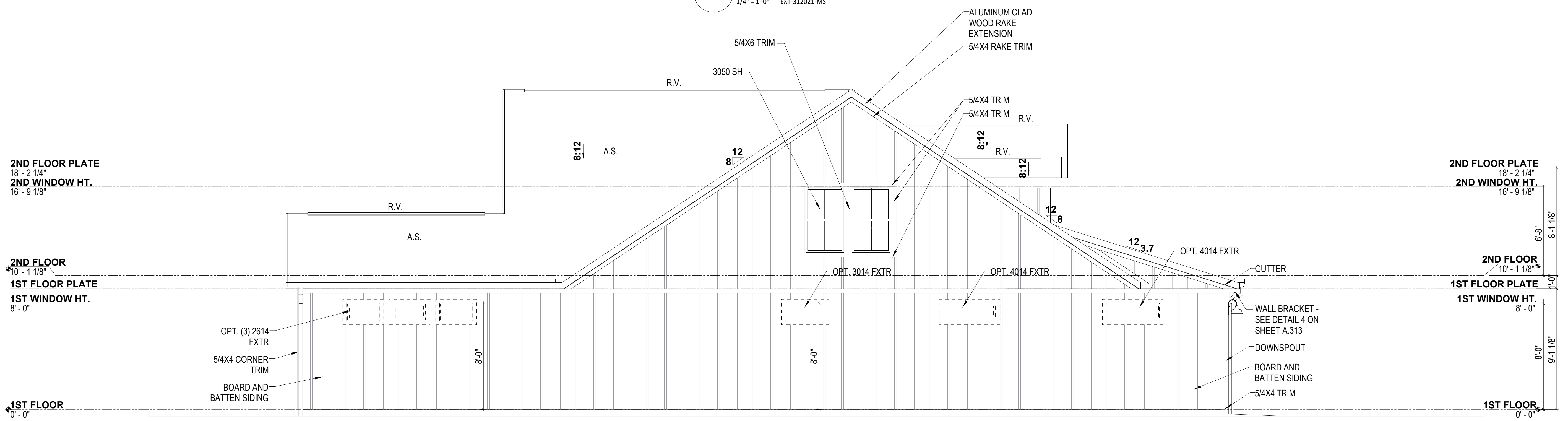
LOCATION: PROJECT ADDRESS GOES HERE

LOT #: LOT NUMBER

SHEET NUMBER



1
ELEVATION C, BONUS ROOM
REAR VIEW
1/4" = 1'-0" EXT-312021-MS



2
ELEVATION C, BONUS ROOM
LEFT VIEW
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w/	WITH

COMMUNITY REVISIONS
REV. NO. DATE
REMARKS
PROTOTYPE REVISION DATE

ELEVATIONS
Pipeline Code: DR-1
Architectural Style: CRAFTSMAN
Garage Hanging: LEFT

Organization Name	PROJECT ADDRESS GOES HERE	LOT #:	LOT NUMBER
LOCATION:			

SHEET NUMBER
A.206B.C

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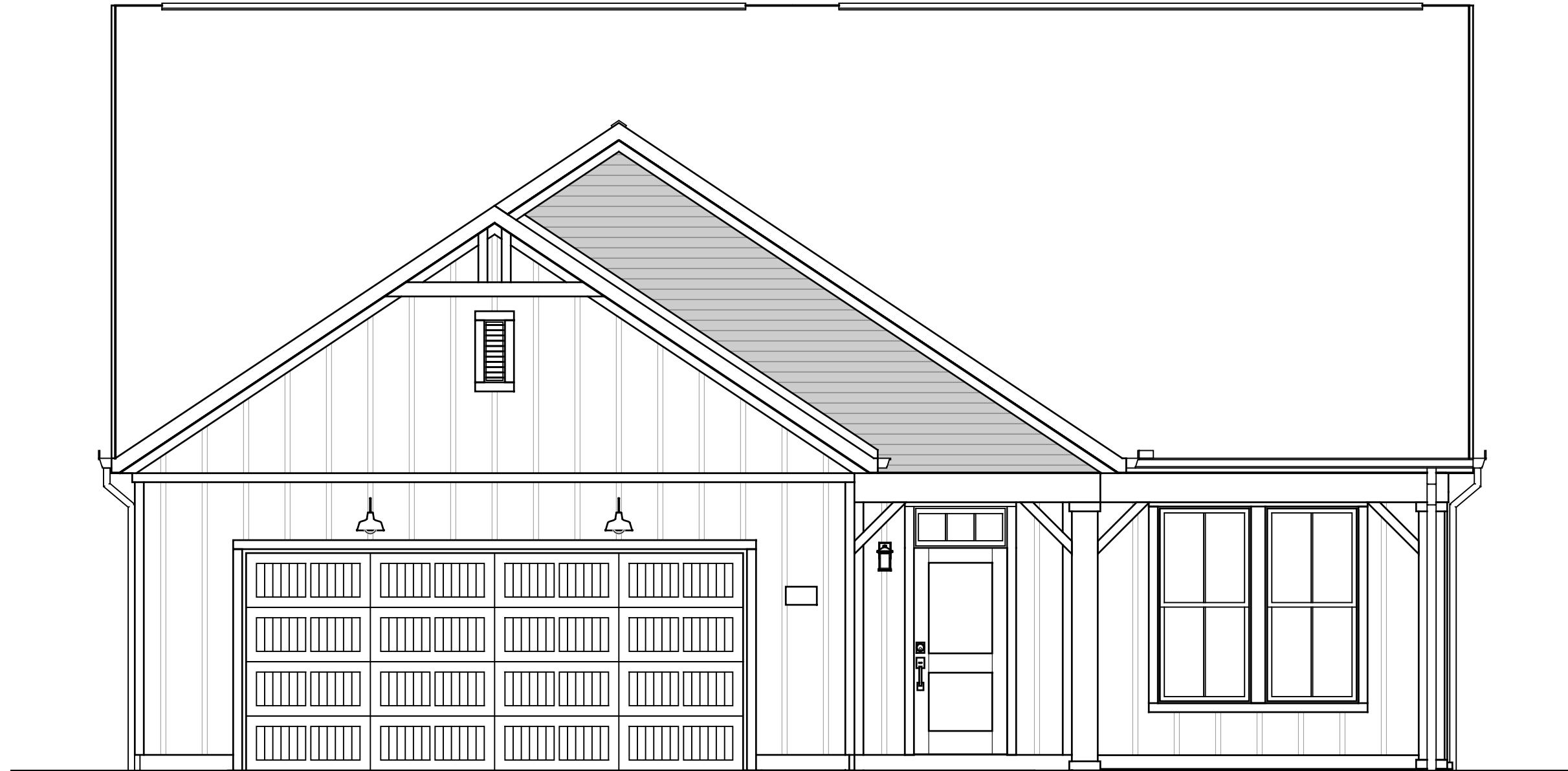


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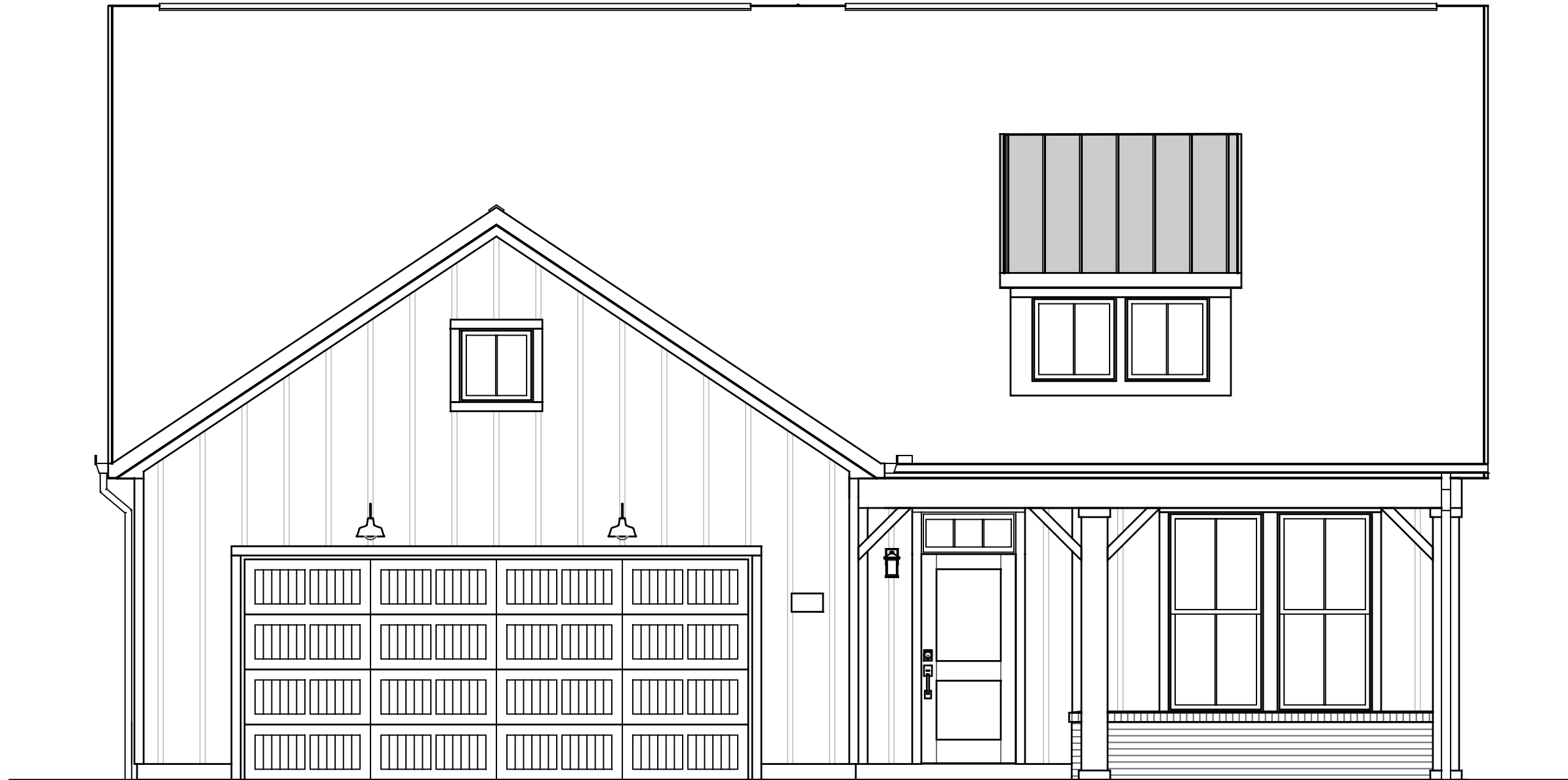


A Simply Luxurious Lifestyle

TORINO (DR-2) UNIT RANCH ELEVATION A



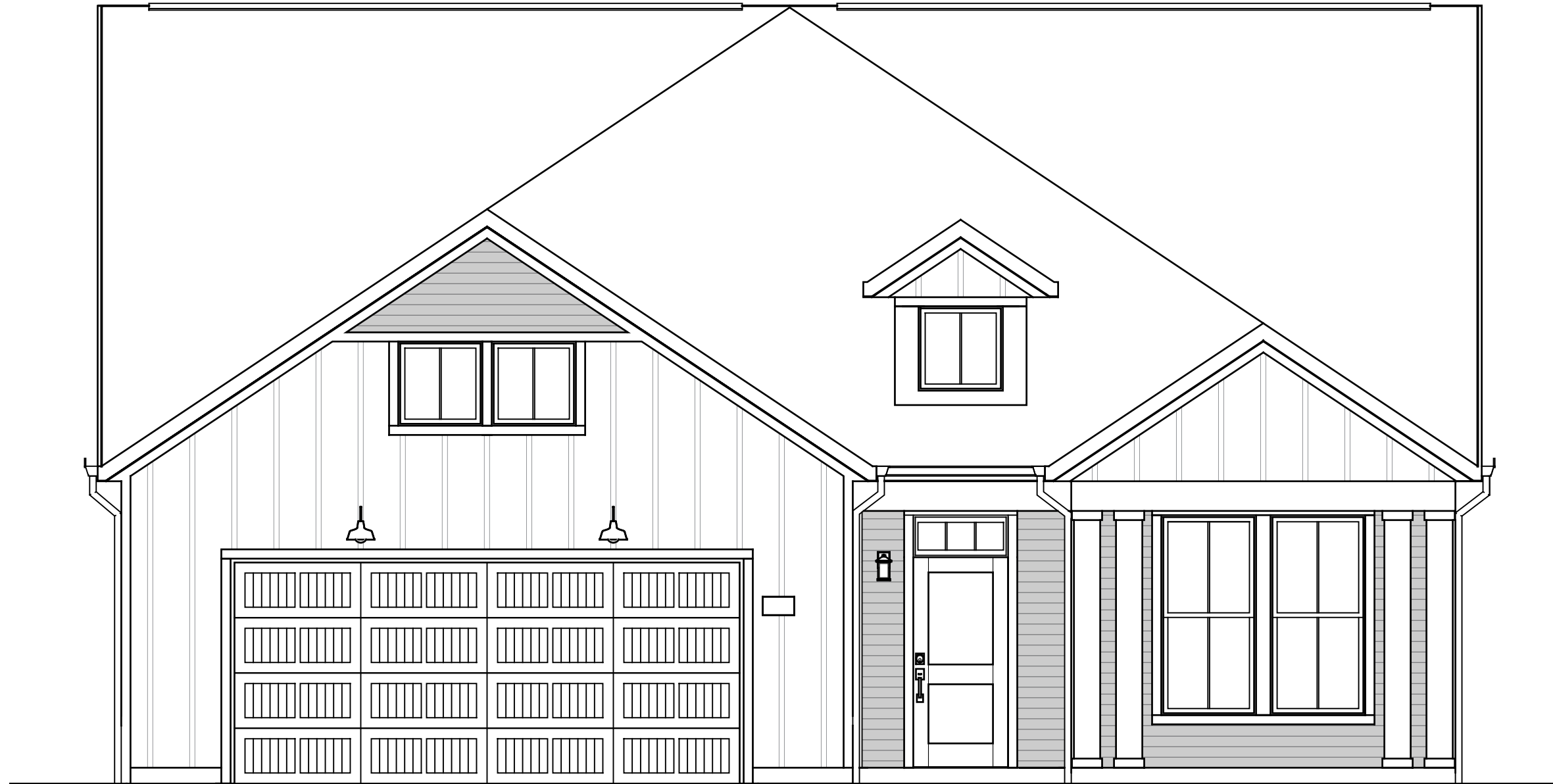
**TORINO (DR-2) UNIT
RANCH ELEVATION B**



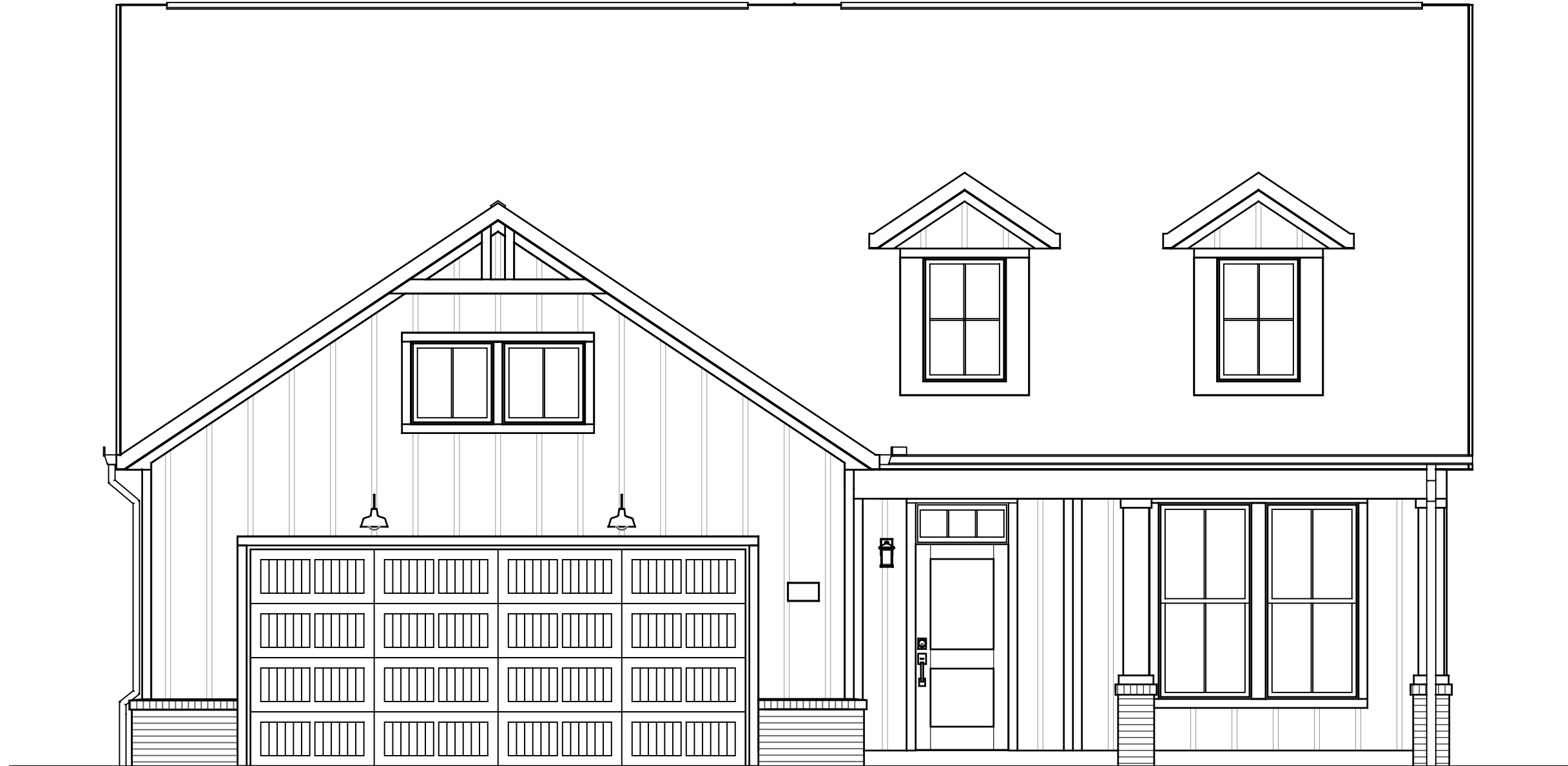
**TORINO (DR-2) UNIT
RANCH ELEVATION C**



**TORINO (DR-2) UNIT
RANCH ELEVATION D**



**TORINO (DR-2) UNIT
BONUS ELEVATION A**



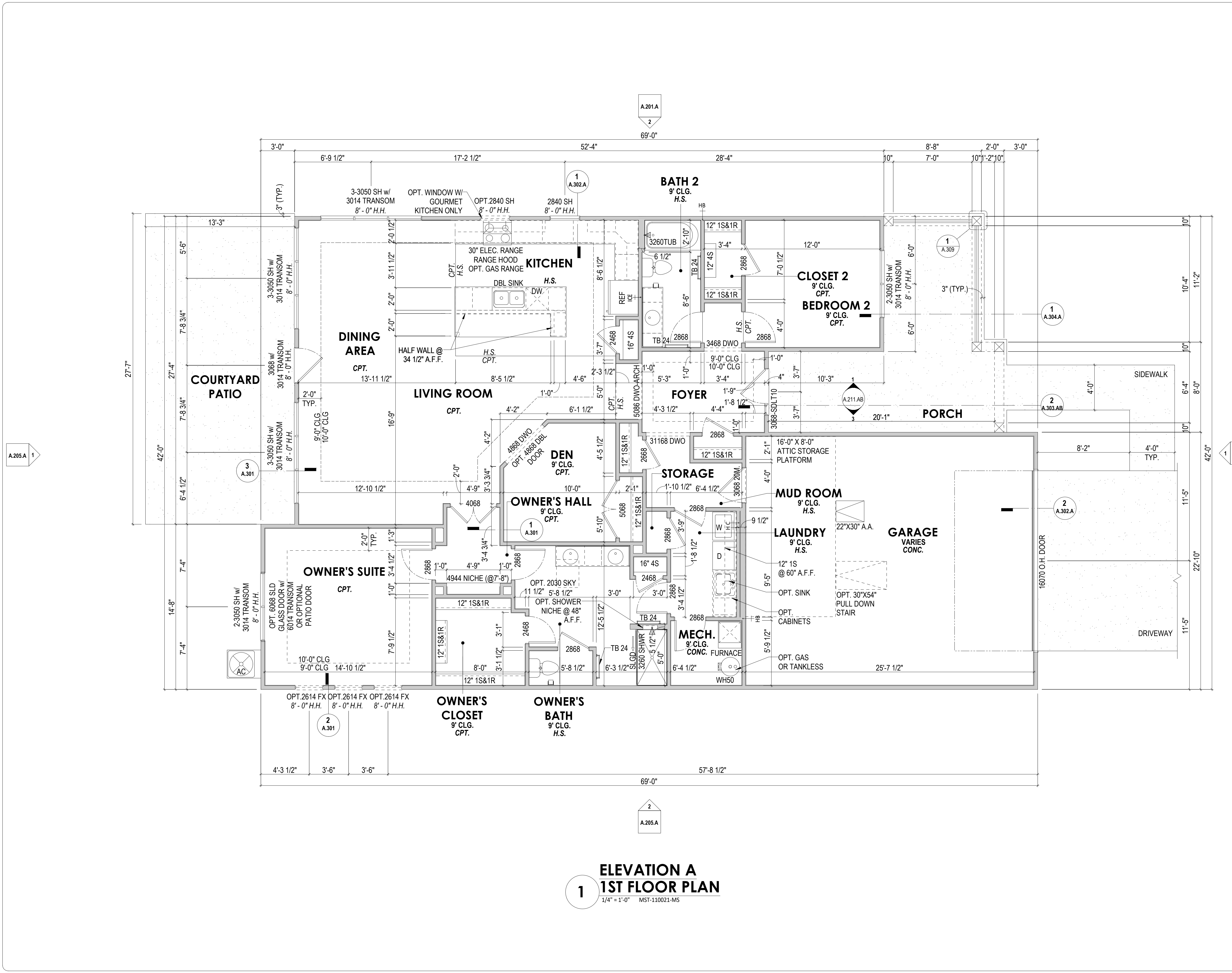
**TORINO (DR-2) UNIT
BONUS ELEVATION B**



NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS

**TORINO (DR-2) UNIT
BONUS ELEVATION C**





- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
 11. 8'-0" TALL INTERIOR DOORS OPTIONAL AT ALL FIRST FLOOR LOCATIONS.



REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC.	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

1ST FLOOR PLAN - ELEV. A

Pipeline Code: DR-2
 Architectural Style: CRAFTSMAN
 Garage Handing: LEFT

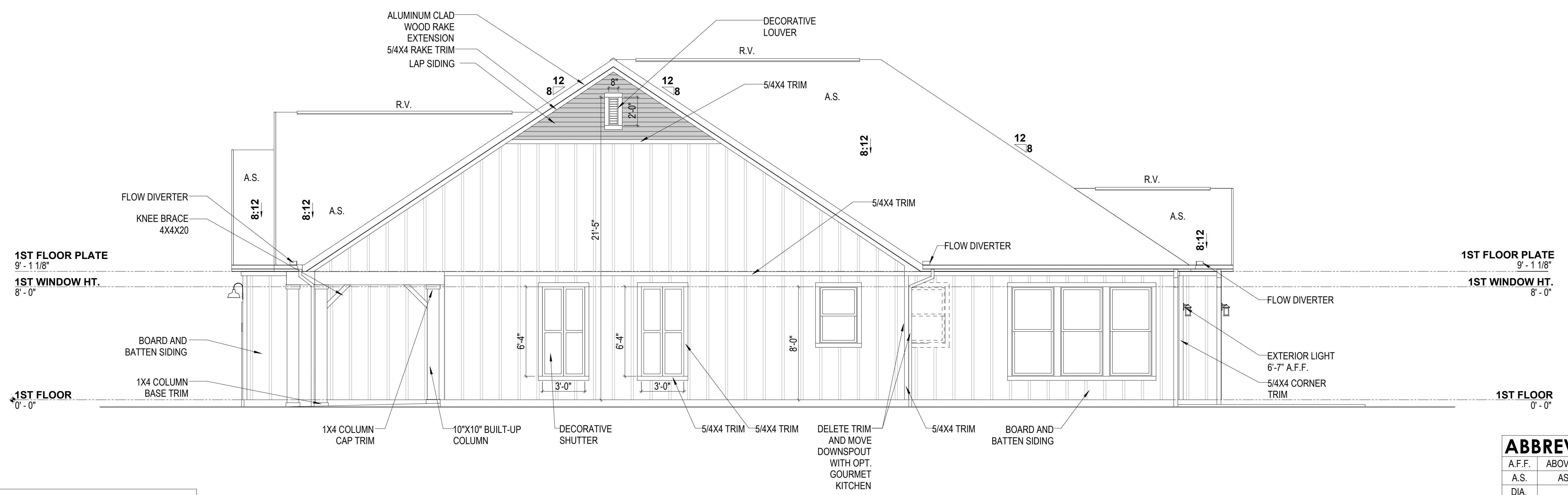
EPCON COMMUNITIES FRANCHISING
 LOCATION:

SHEET NUMBER
A.121.A

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**ELEVATION A
 1ST FLOOR PLAN**

1/4" = 1'-0" MST-110021-MS

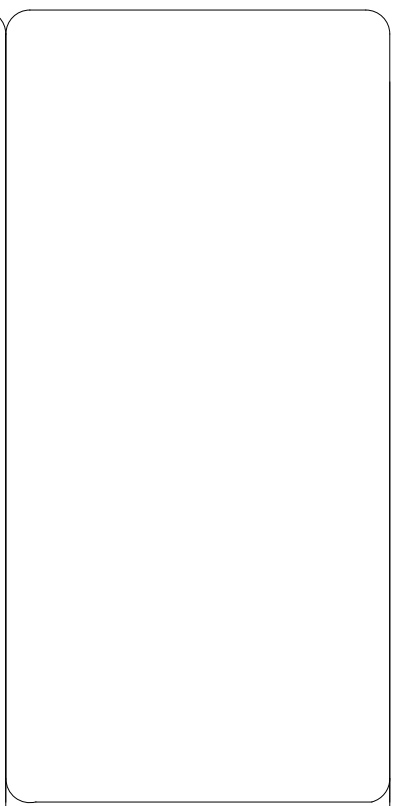


- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ELEVATION A
RIGHT VIEW
 1/4" = 1'-0" MST-110021-MS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



COMMUNITY REVISIONS	
REV. NO.	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A

Pipeline Code:	DR-2
Architectural Style:	FARMHOUSE
Garage Handling:	LEFT

EPCON COMMUNITIES FRANCHISING

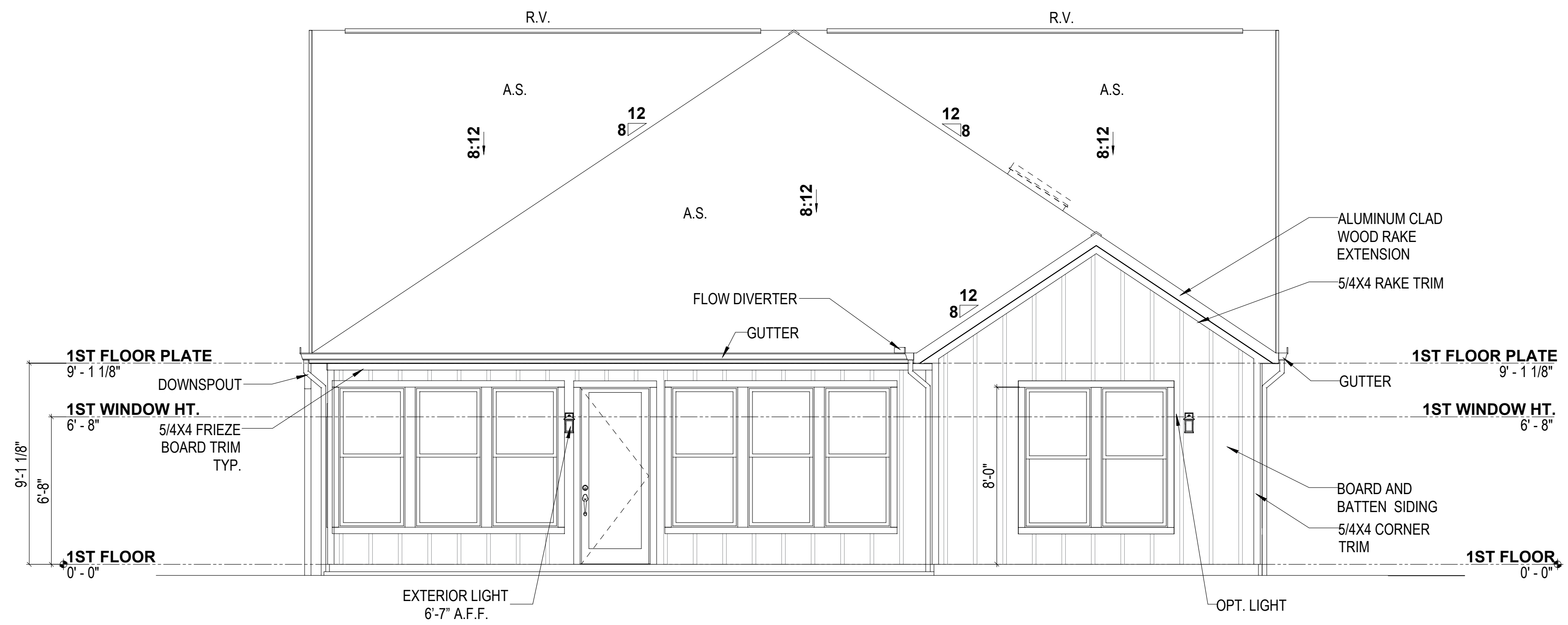
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LOT #: _____

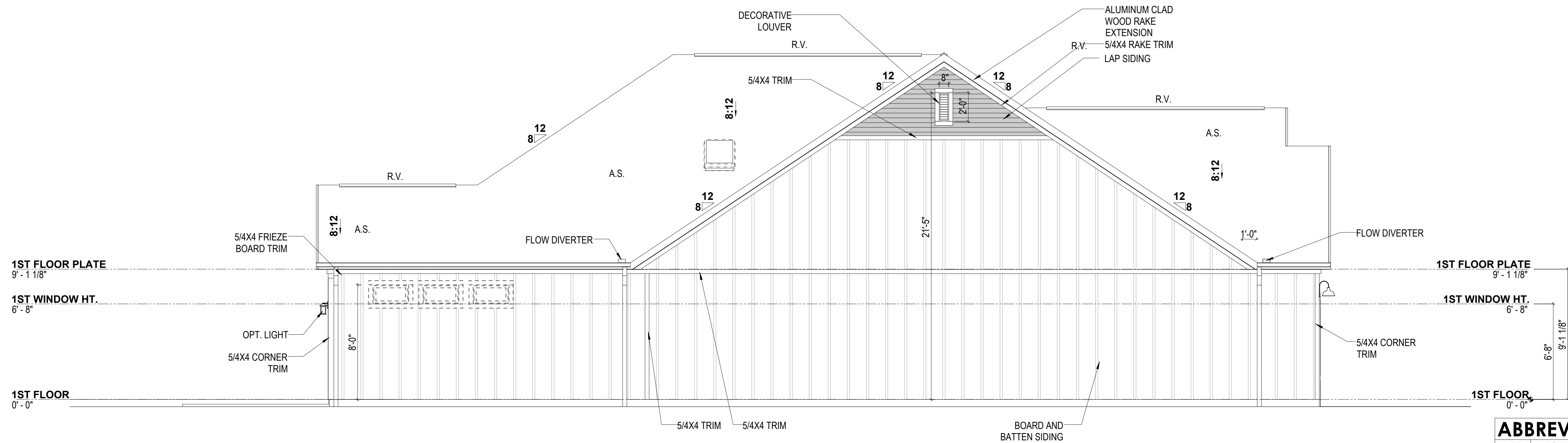
SHEET NUMBER

A.201.A

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**ELEVATION A
1 REAR VIEW**
1/4" = 1'-0" MST-110021-MS



**ELEVATION A
2 LEFT VIEW**
1/4" = 1'-0" MST-110021-MS

ELEVATION NOTES:

- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
- DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A

Pipeline Code: **DR-2**
Architectural Style: **FARMHOUSE**
Garage Handling: **LEFT**

EPCOM COMMUNITIES FRANCHISING

LOCATION:
LOT #:

SHEET NUMBER
A.205.A

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EPCOM COMMUNITIES FRANCHISING, LLC



2216

**VERONA (DR-3) UNIT
RANCH ELEVATION A**



NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS

**VERONA (DR-3) UNIT
RANCH ELEVATION B**





A Simply Luxurious Lifestyle

VERONA (DR-3) UNIT RANCH ELEVATION C





A Simply Luxurious Lifestyle

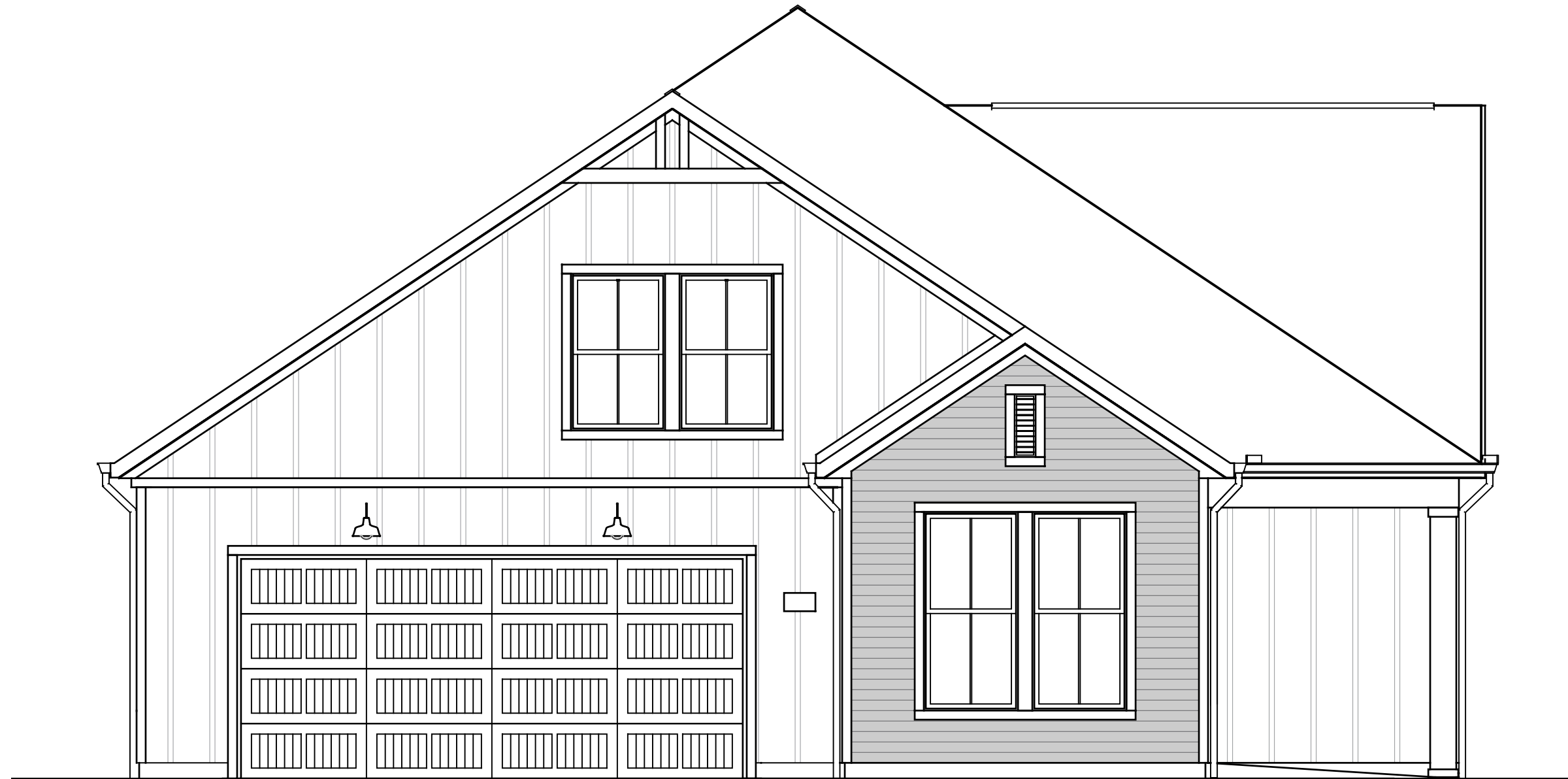
**VERONA (DR-3) UNIT
RANCH ELEVATION D**





A Simply Luxurious Lifestyle

VERONA (DR-3) UNIT BONUS ELEVATION A





A Simply Luxurious Lifestyle

VERONA (DR-3) UNIT BONUS ELEVATION B



**VERONA (DR-3) UNIT
BONUS ELEVATION C**



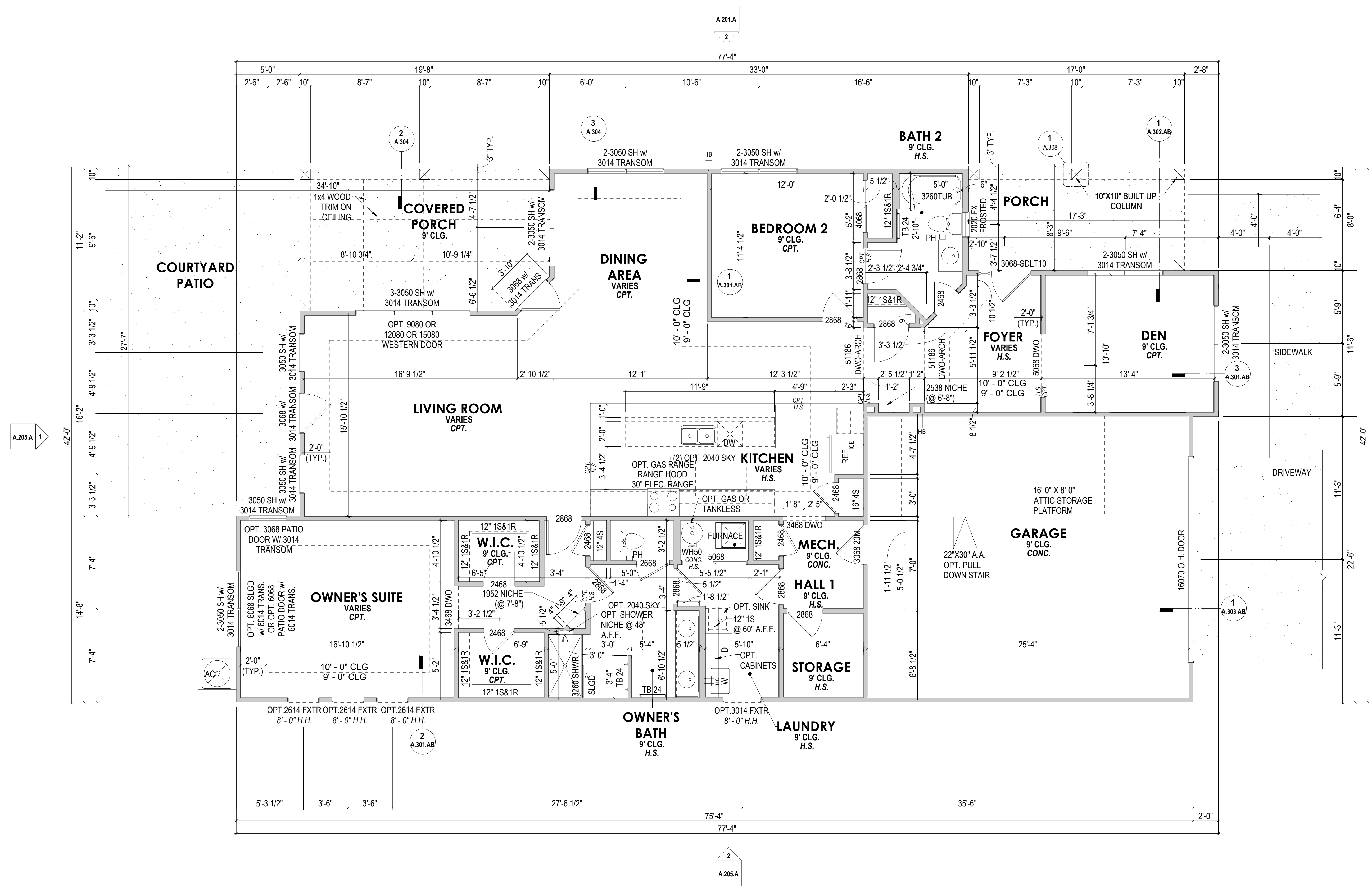
- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE

ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

15T FLOOR PLAN - ELEV. A	
Pipeline Code:	DR-3
Architectural Style:	CRAFTSMAN
Garage Handing:	LEFT
LOCATION:	
LOT #:	
SHEET NUMBER	A.121.A

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ELEVATION A
1 1ST FLOOR PLAN
 1/4" = 1'-0" ELV-100021-MS

COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE
PROTOTYPE REVISION DATE	

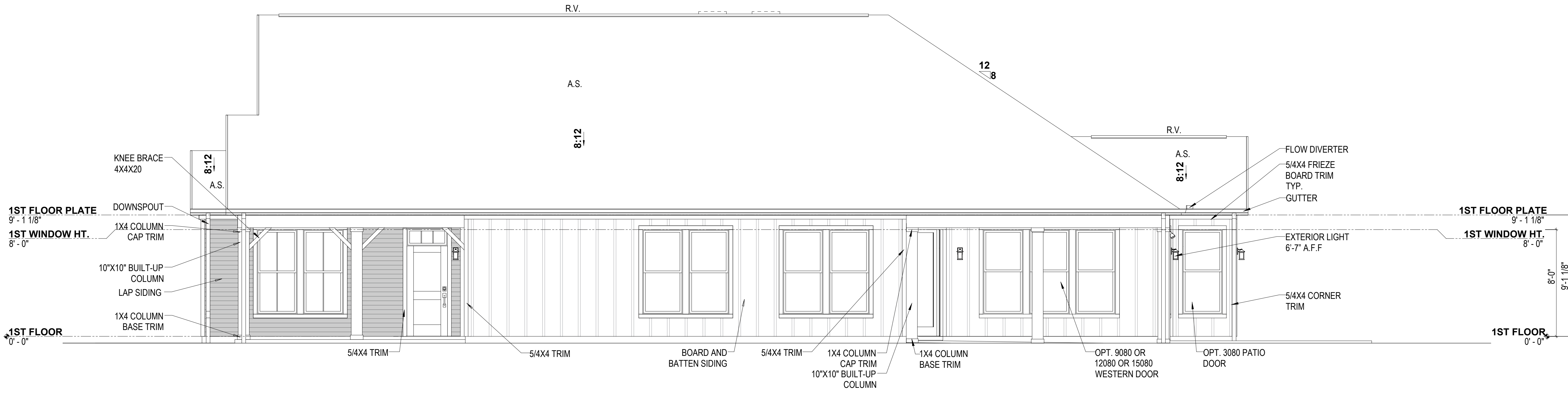
COMMUNITY REVISIONS	
REV. NO.	DATE

ELEVATIONS - ELEV. A	
Pipeline Code:	DR-3
Architectural Style:	FARMHOUSE
Garage Handing:	LEFT

EPCON COMMUNITIES FRANCHISING	
LOCATION:	
LOT #:	

SHEET NUMBER
A.201.A

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EPCON COMMUNITIES FRANCHISING, LLC

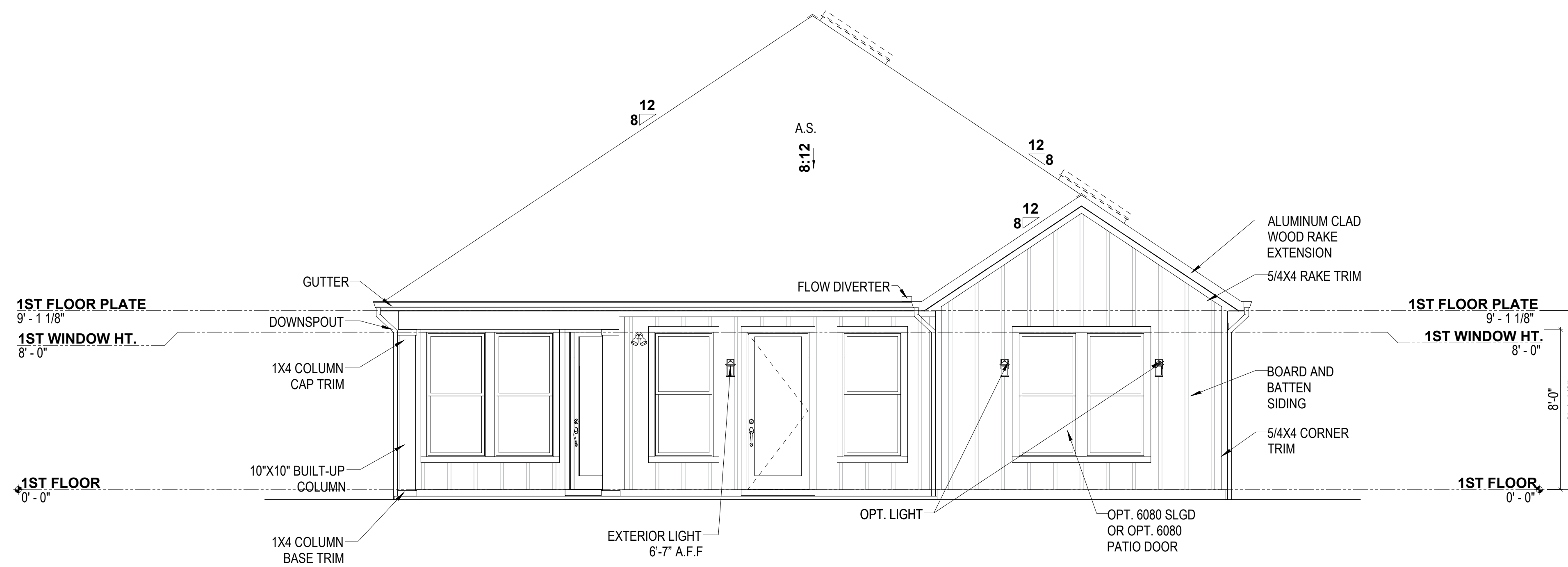


ELEVATION A
RIGHT VIEW
1/4" = 1'-0" ELV-100021-MS

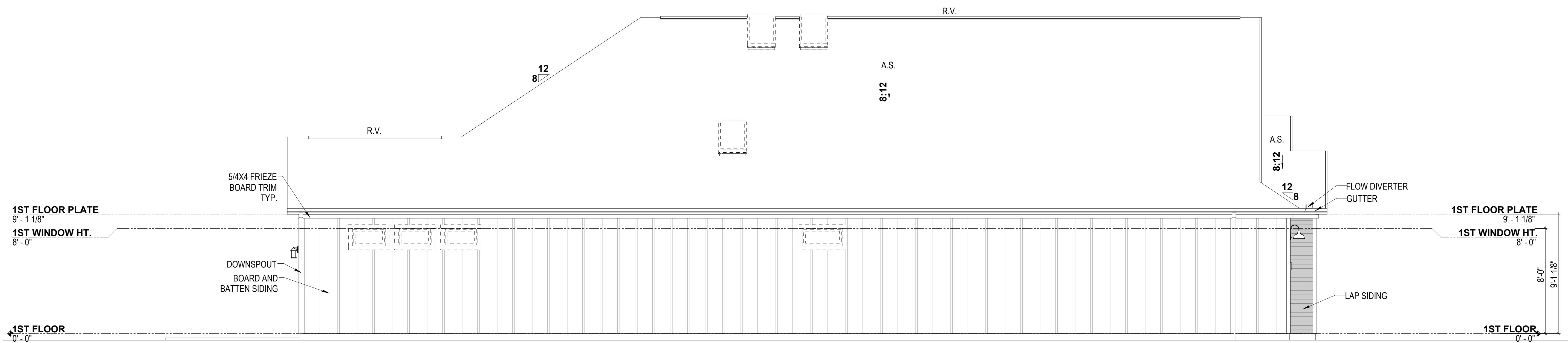
- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



**ELEVATION A
1 REAR VIEW**
1/4" = 1'-0" ELV-100021-MS



**ELEVATION A
2 LEFT VIEW**
1/4" = 1'-0" ELV-100021-MS

ELEVATION NOTES:

- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
- DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
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OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE

PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A	Pipeline Code: DR-3
	Architectural Style: FARMHOUSE
	Garage Hanging: LEFT

EPCCON COMMUNITIES FRANCHISING	LOCATION:	LOT #:

SHEET NUMBER
A.205.A

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 EPCCON COMMUNITIES, LLC



2651

**PALAZZO (D-1) UNIT
RANCH ELEVATION A**



NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS

**PALAZZO (D-1) UNIT
RANCH ELEVATION B**





A Simply Luxurious Lifestyle

PALAZZO (D-1) UNIT RANCH ELEVATION C



**PALAZZO (D-1) UNIT
RANCH ELEVATION D**





A Simply Luxurious Lifestyle

PALAZZO (D-1) UNIT BONUS ELEVATION A

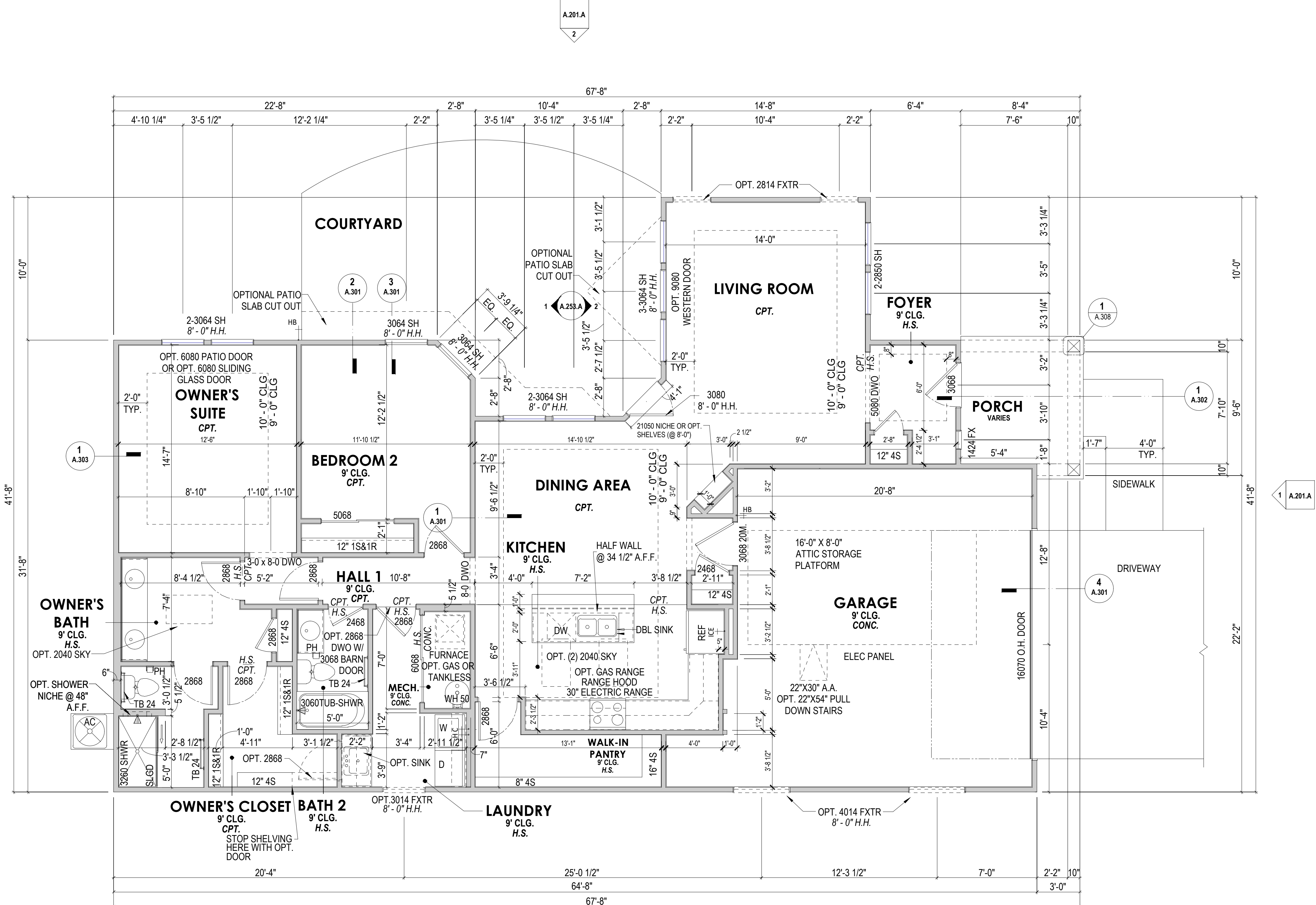


**PALAZZO (D-1) UNIT
BONUS ELEVATION B**



**PALAZZO (D-1) UNIT
BONUS ELEVATION C**





- ### GENERAL NOTES
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
 11. 8'-0" TALL INTERIOR DOORS OPTIONAL AT ALL FIRST FLOOR LOCATIONS.



COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE

PROTOTYPE REVISION DATE

1ST FLOOR PLAN
Pipeline Code: D-1
Architectural Style: FARMHOUSE
Garage Hanging: LEFT

EPCON COMMUNITIES FRANCHISING
LOCATION: A.121.A
SHEET NUMBER: A.121.A
LOT #:

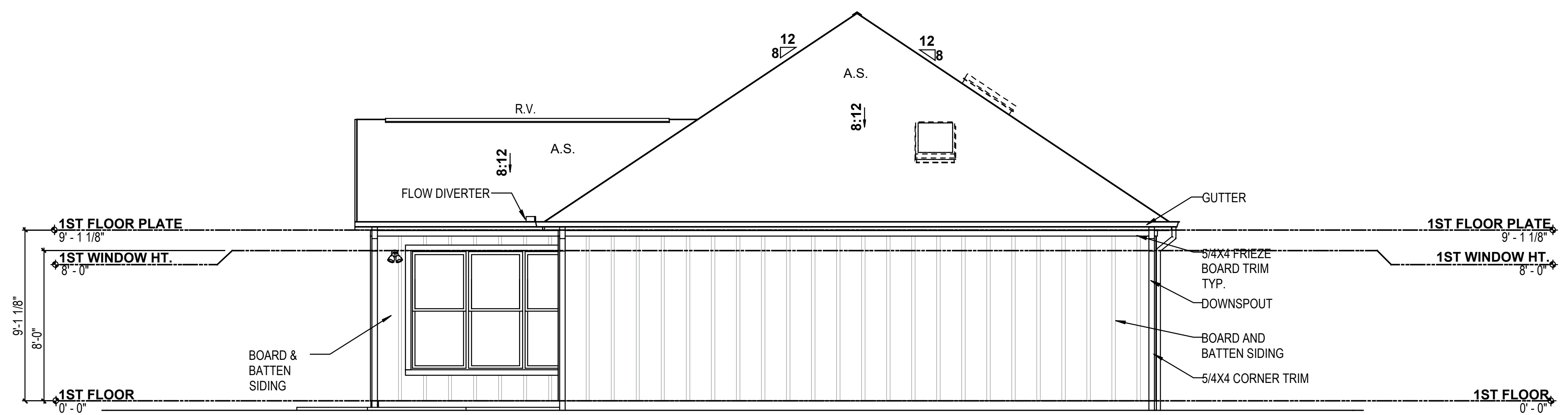
ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

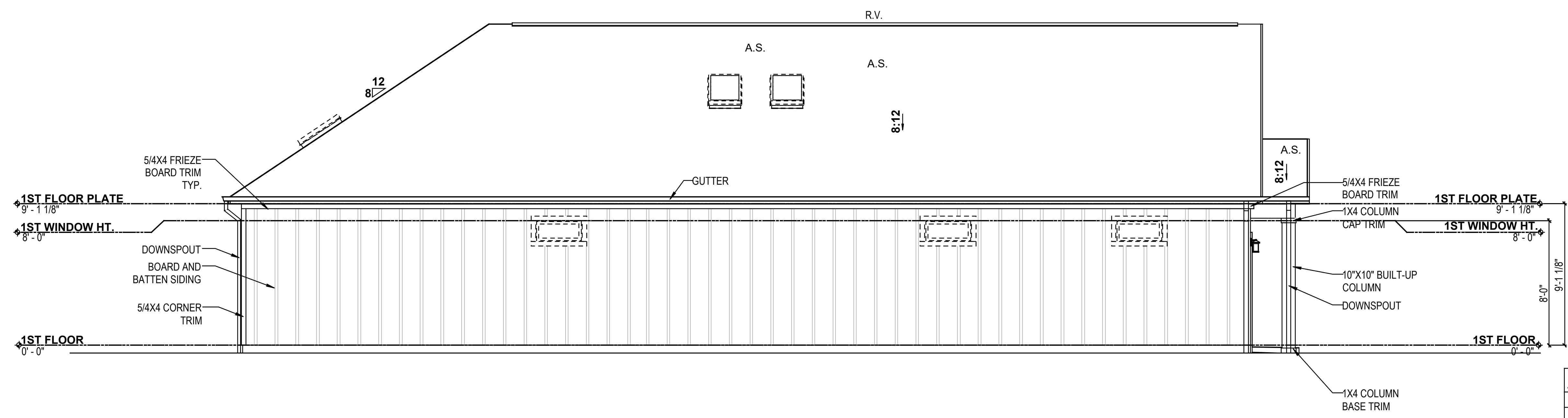
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ELEVATION A 1ST FLOOR PLAN

1/4" = 1'-0" MST-110021-MS



1
ELEVATION A
REAR VIEW
 1/4" = 1'-0" MST-110021-M5

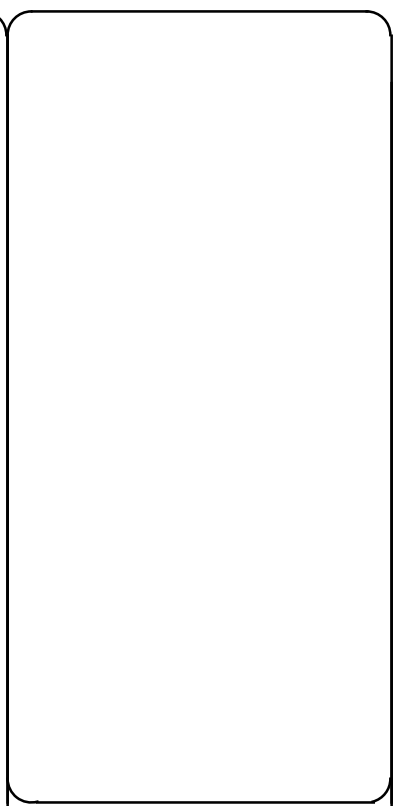


2
ELEVATION A
LEFT VIEW
 1/4" = 1'-0" MST-110021-M5

- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE

PROTOTYPE REVISION DATE	

ELEVATIONS - ELEV. A	
Pipeline Code:	D-1
Architectural Style:	FARMHOUSE
Garage Handling:	LEFT

EPCON COMMUNITIES FRANCHISING	
LOCATION:	
LOT #:	
SHEET NUMBER	A.205.A

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REV. NO.	DATE	REMARKS

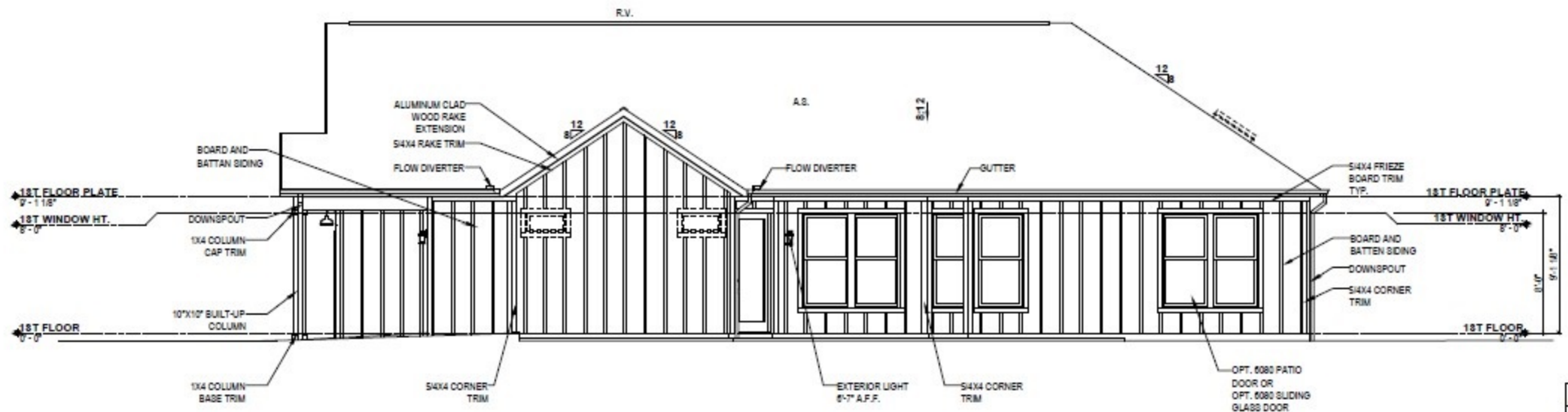
PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A
Pipeline Code: D-1
Architectural Style: FARMHOUSE
Garage Handing: LEFT

EPCON COMMUNITIES FRANCHISING
LOCATION:
LOT #:

SHEET NUMBER
A.201.A

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ELEVATION NOTES:

- ALL WINDOWS & DOORS TO HAVE S4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
- DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

2 **ELEVATION A**
RIGHT VIEW
1/4" = 1'-0" MBI-13001-MS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
W/	WITH



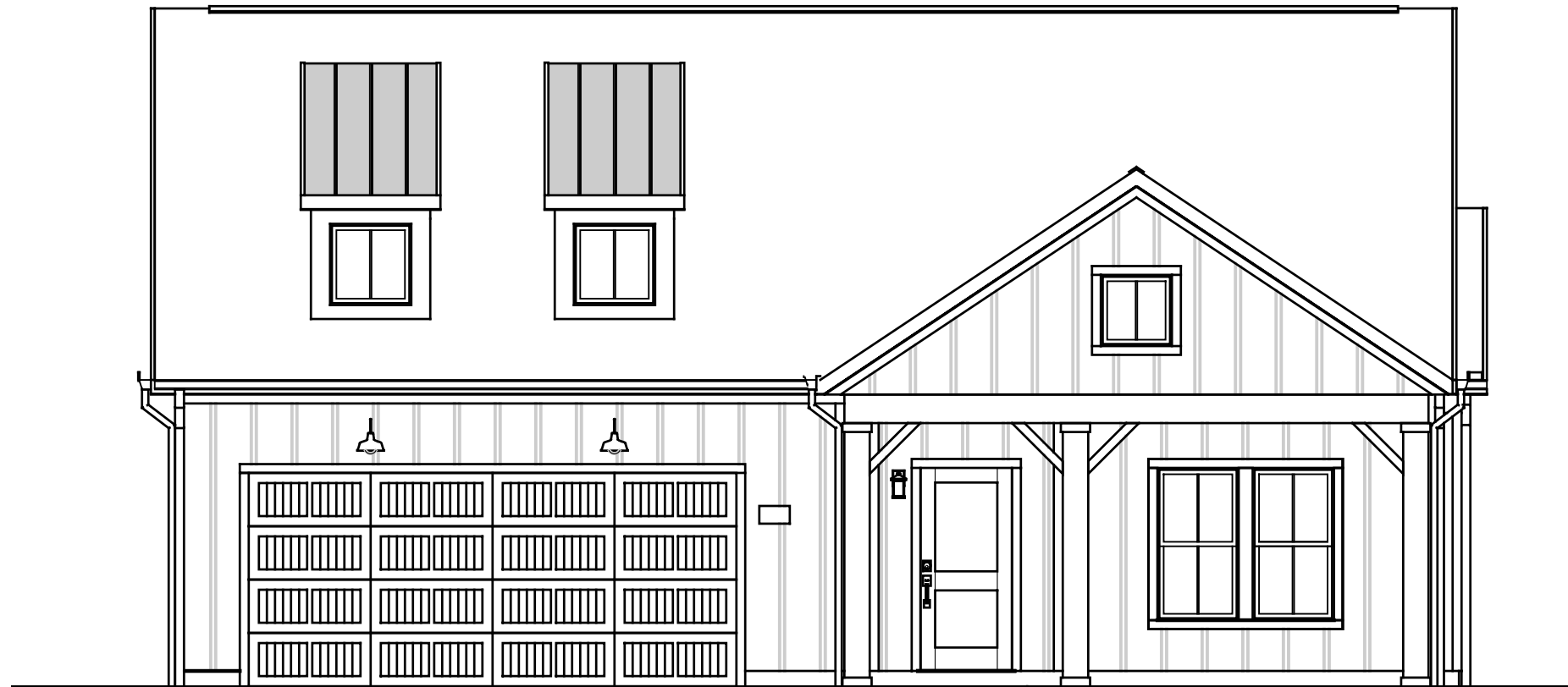
**PORTICO (D-2) UNIT
RANCH ELEVATION A**



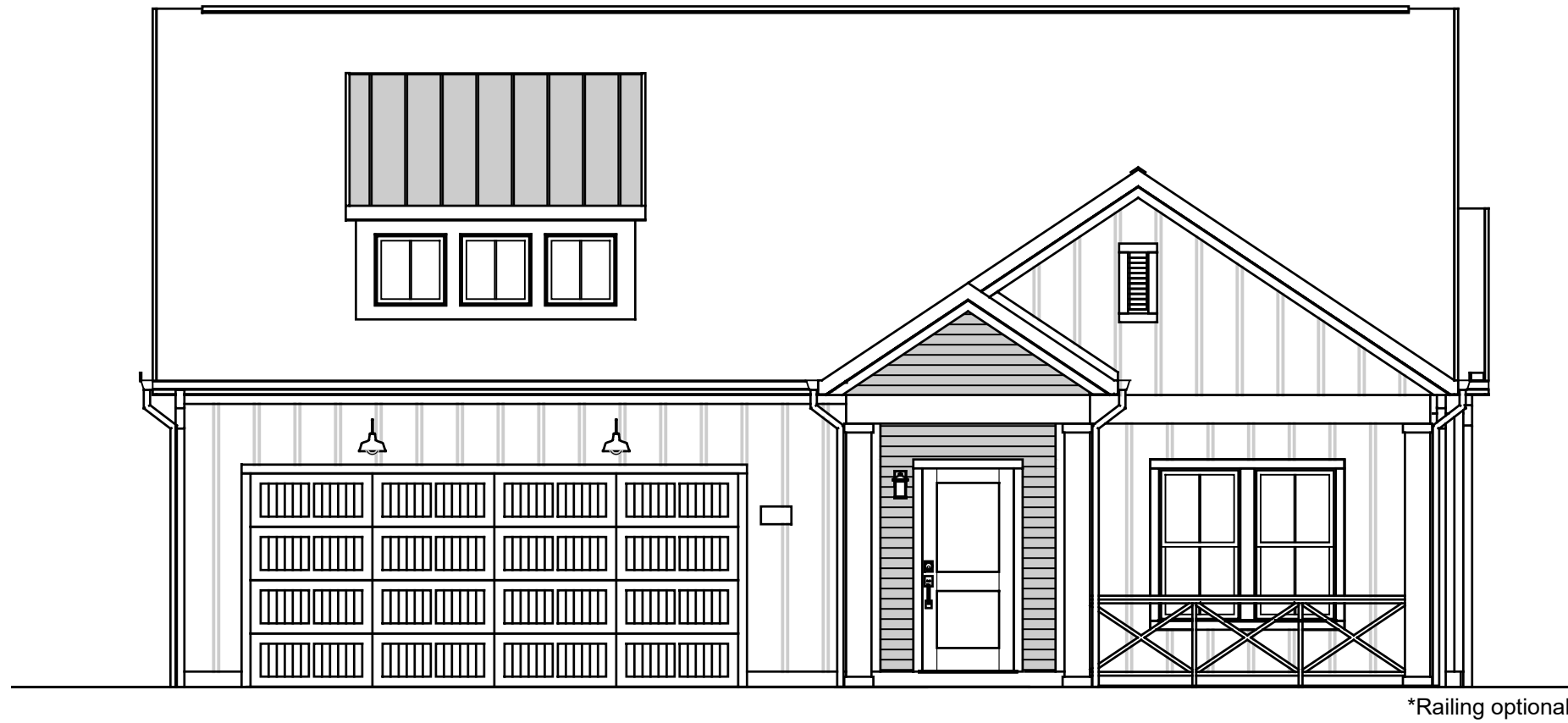
**PORTICO (D-2) UNIT
RANCH ELEVATION B**



**PORTICO (D-2) UNIT
RANCH ELEVATION C**



**PORTICO (D-2) UNIT
RANCH ELEVATION D**



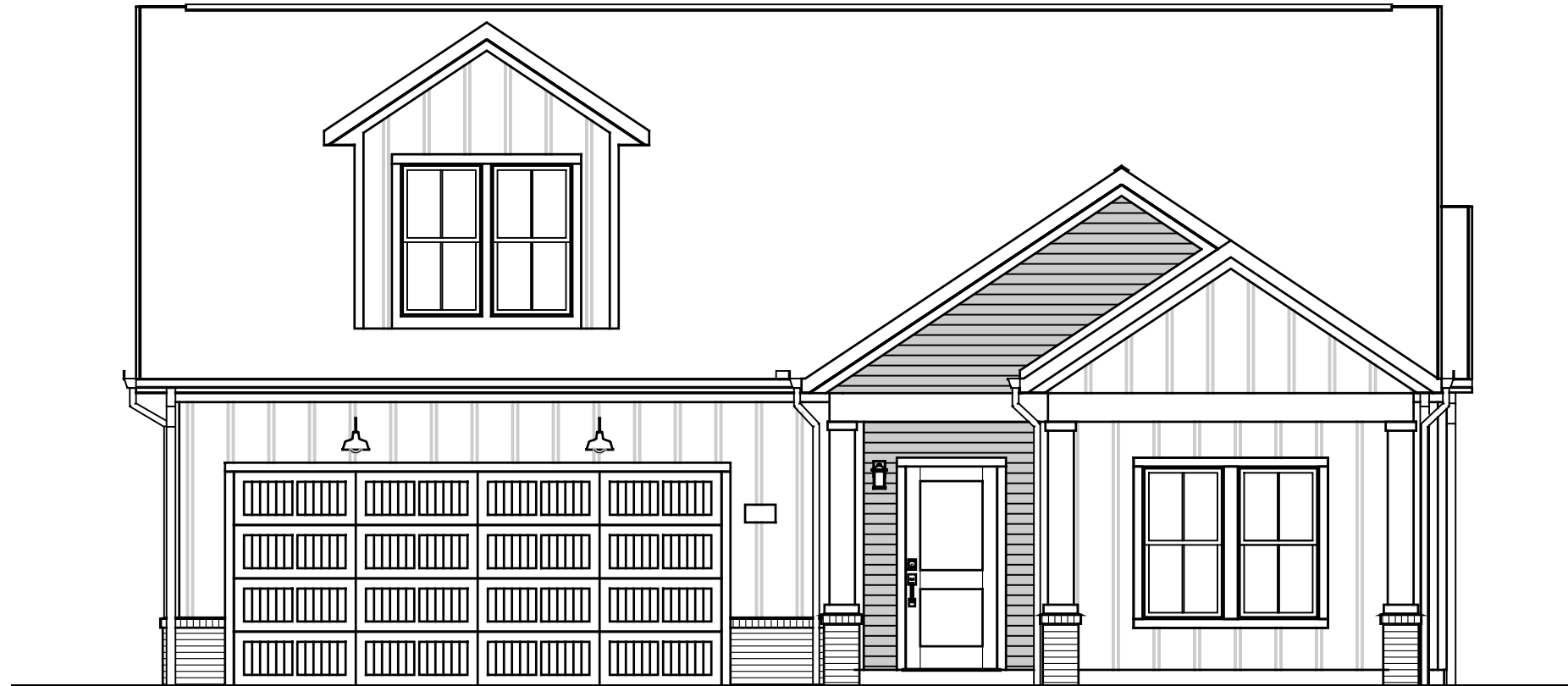
**PORTICO (D-2) UNIT
BONUS ELEVATION A**

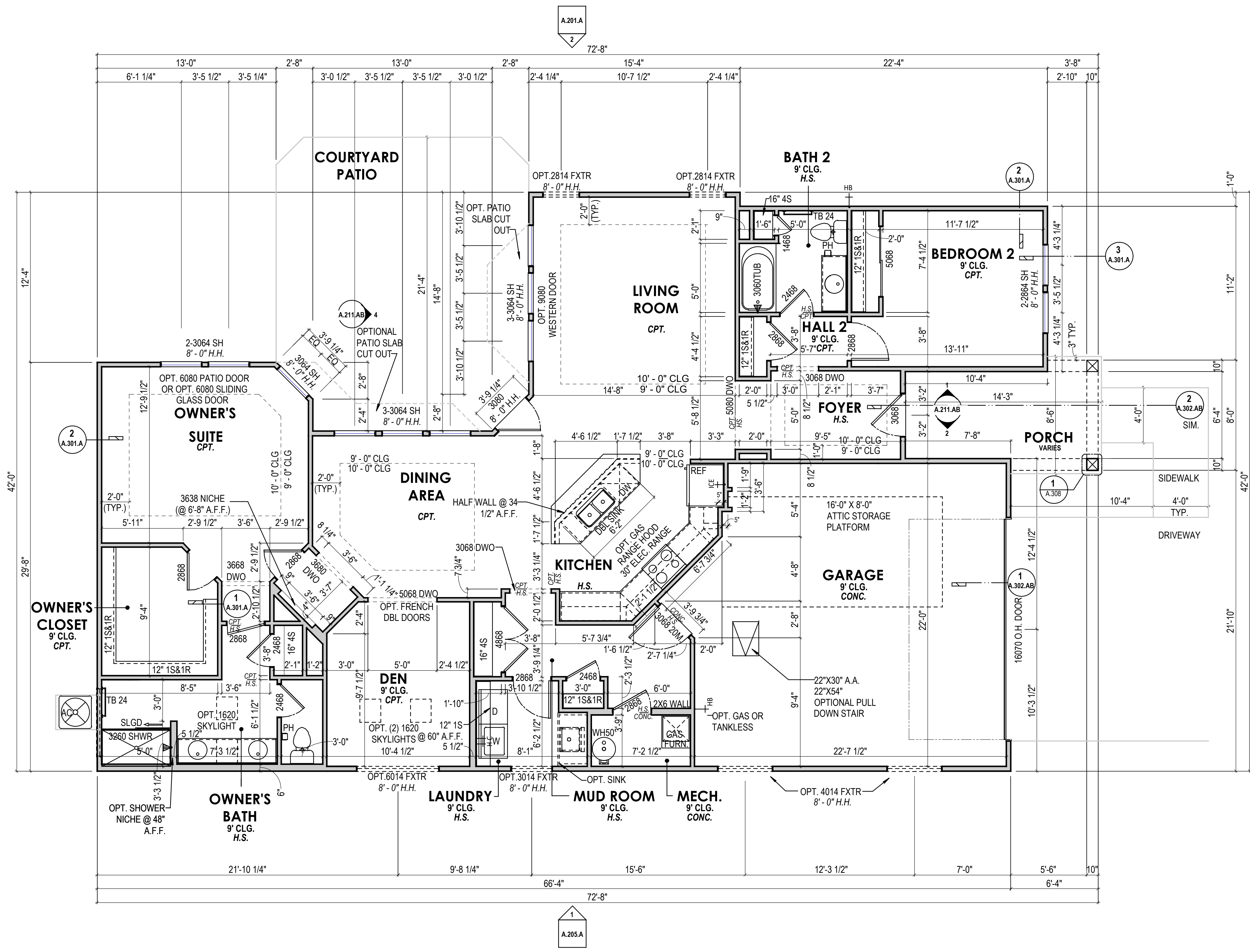


**PORTICO (D-2) UNIT
BONUS ELEVATION B**



**PORTICO (D-2) UNIT
BONUS ELEVATION C**





- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
 8. ALL EXTERIOR WALLS OF THIS UNIT ASSUMED TO BE 4" UNLESS NOTED OTHERWISE
 9. TRUSS MANUFACTURER TO COORDINATE EXACT LOCATIONS OF SKYLIGHTS. APPROXIMATE LOCATIONS AS SHOWN ON PLANS
 10. SPRING POINT FOR ARCHED DRYWALL OPENINGS TO BE 7'-8" UNLESS NOTED OTHERWISE
 11. 8'-0" TALL INTERIOR DOORS OPTIONAL AT ALL FIRST FLOOR LOCATIONS.

ABBREVIATIONS

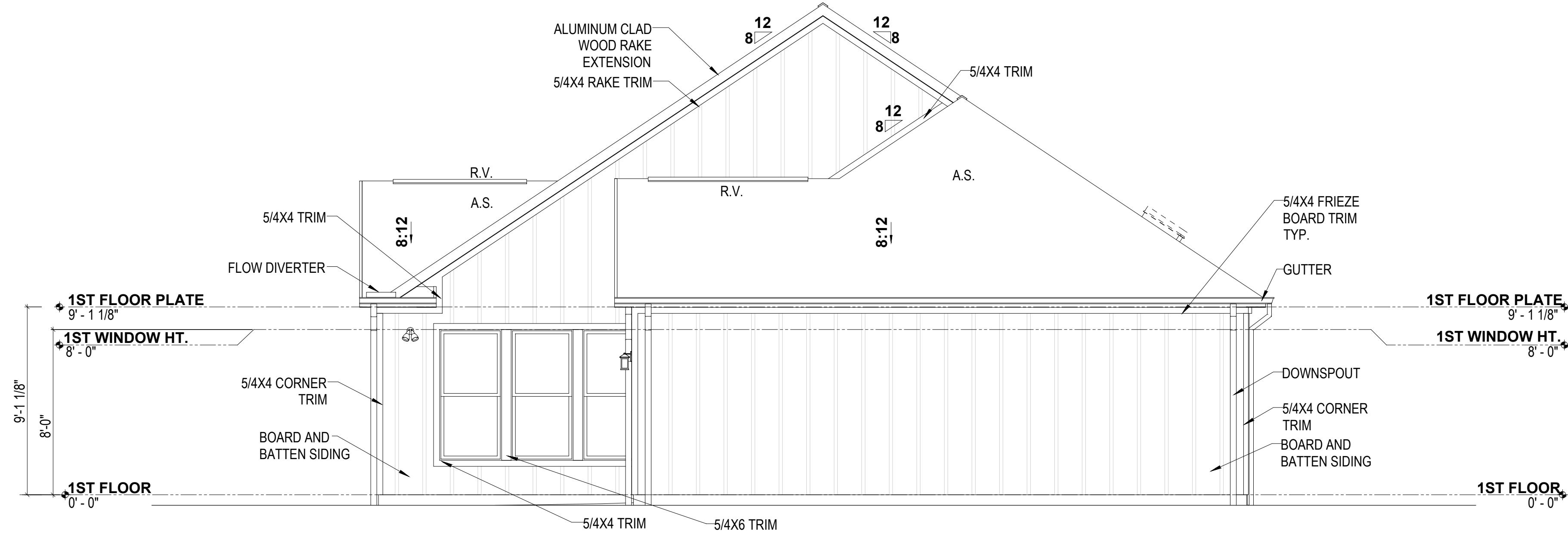
1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
FX	FIXED
GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
O.H.	OVERHEAD
OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

1 1ST FLOOR PLAN
1/4" = 1'-0"

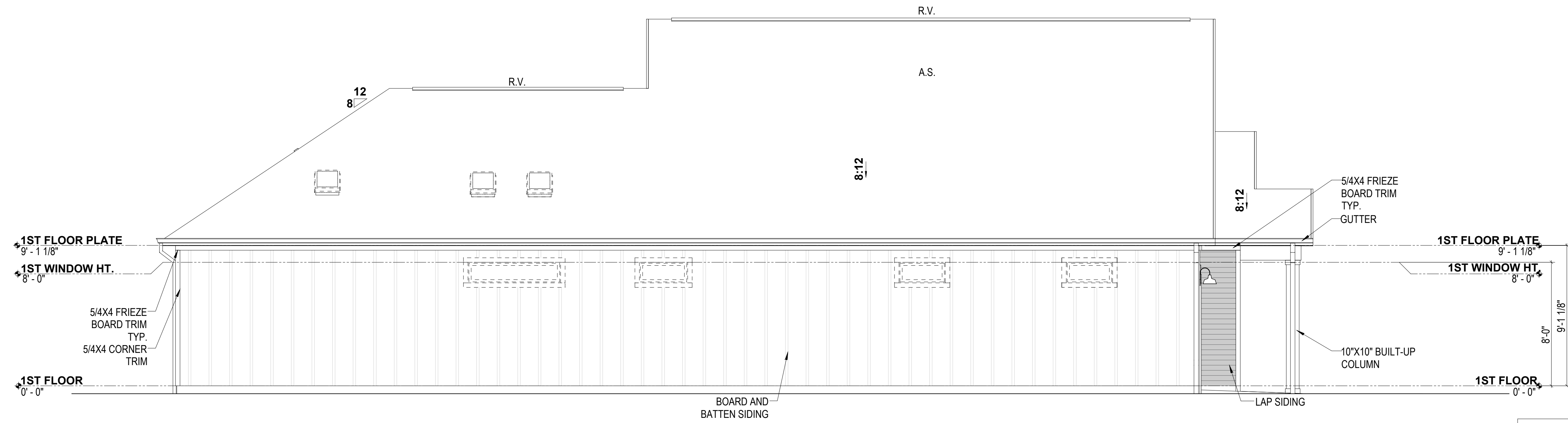
EPCON COMMUNITIES	
COMMUNITIES	
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REVISIONS	REMARKS
REV. NO.	DATE
PROTOTYPE REVISION DATE	

1ST FLOOR PLAN - ELEV. A	Pipeline Code: D-2	Architectural Style: FARMHOUSE	Garage Handing: LEFT
LOCATION:	SHEET NUMBER		LOT #:
A.121.A			

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**ELEVATION A
REAR VIEW**
1
1/4" = 1'-0"



**ELEVATION A
LEFT VIEW**
2
1/4" = 1'-0"

- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH

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COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE
PROTOTYPE REVISION DATE	

ELEVATIONS - ELEV. A

Pipeline Code:	D-2
Architectural Style:	FARMHOUSE
Garage Hanging:	LEFT

EPCON COMMUNITIES FRANCHISING

LOCATION:	LOT #:
A.205.A	

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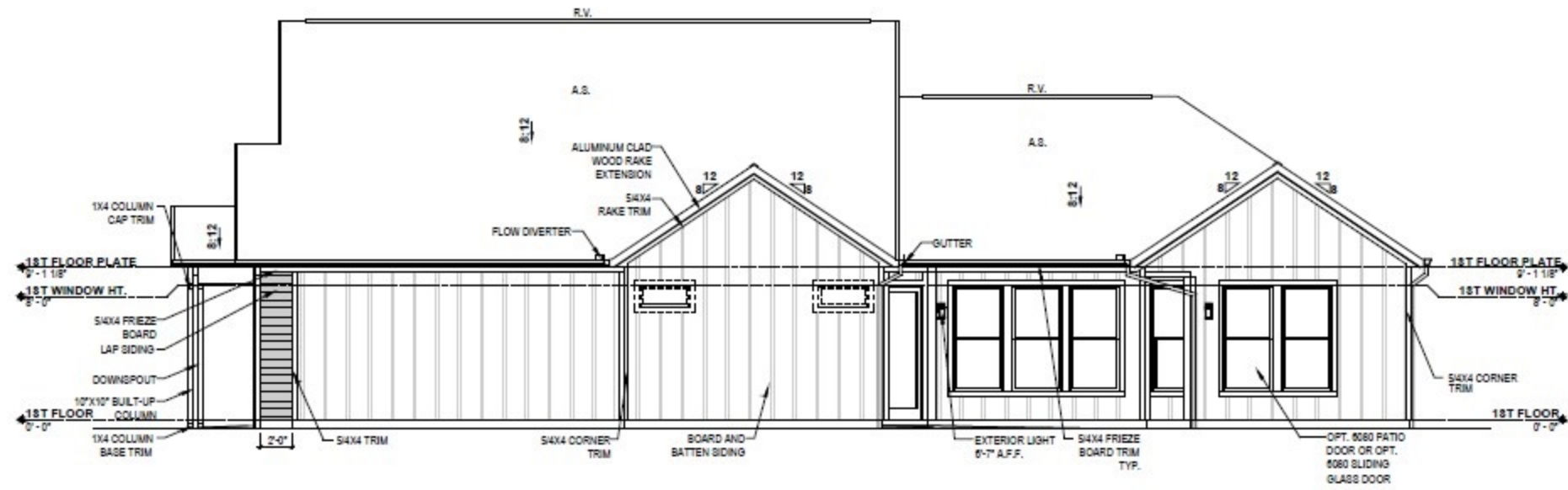
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ELEVATIONS - ELEV. A
Pipeline Code: D-2
Architectural Style: FARMHOUSE
Garage Hanging: LEFT

EPCON COMMUNITIES FRANCHISING	LOCATION:	LOT #:

A.201.A

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**ELEVATION A
RIGHT VIEW**
2 1/4" = 1'-0"

- ELEVATION NOTES:**
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 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

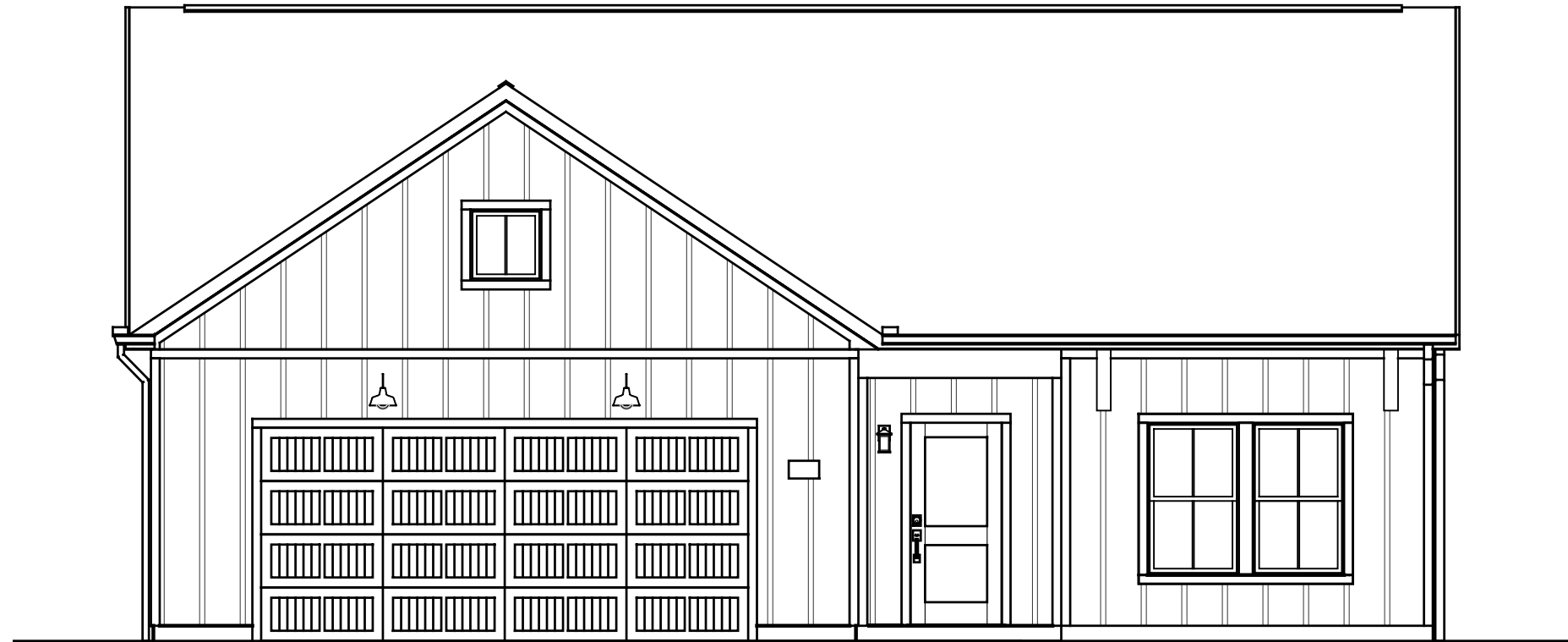
ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
W/	WITH

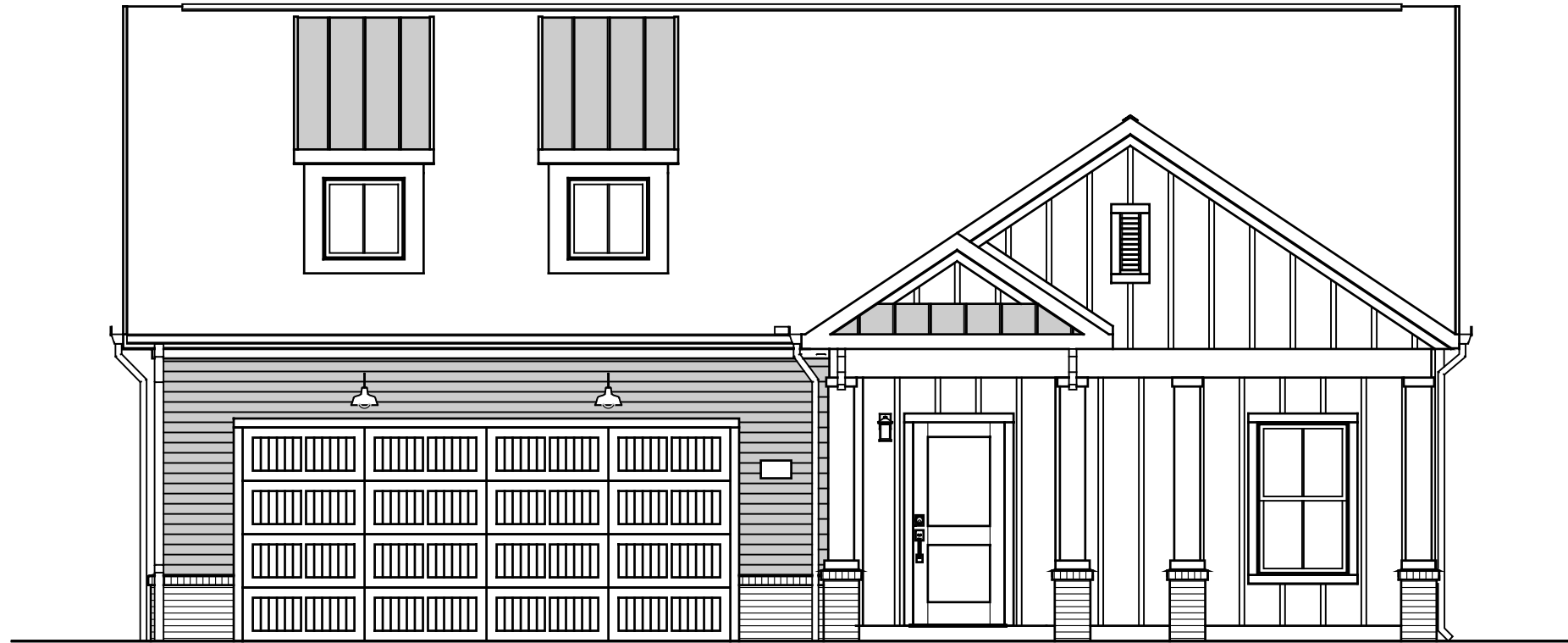


22

**PROMENADE (D-4) UNIT
RANCH ELEVATION A**



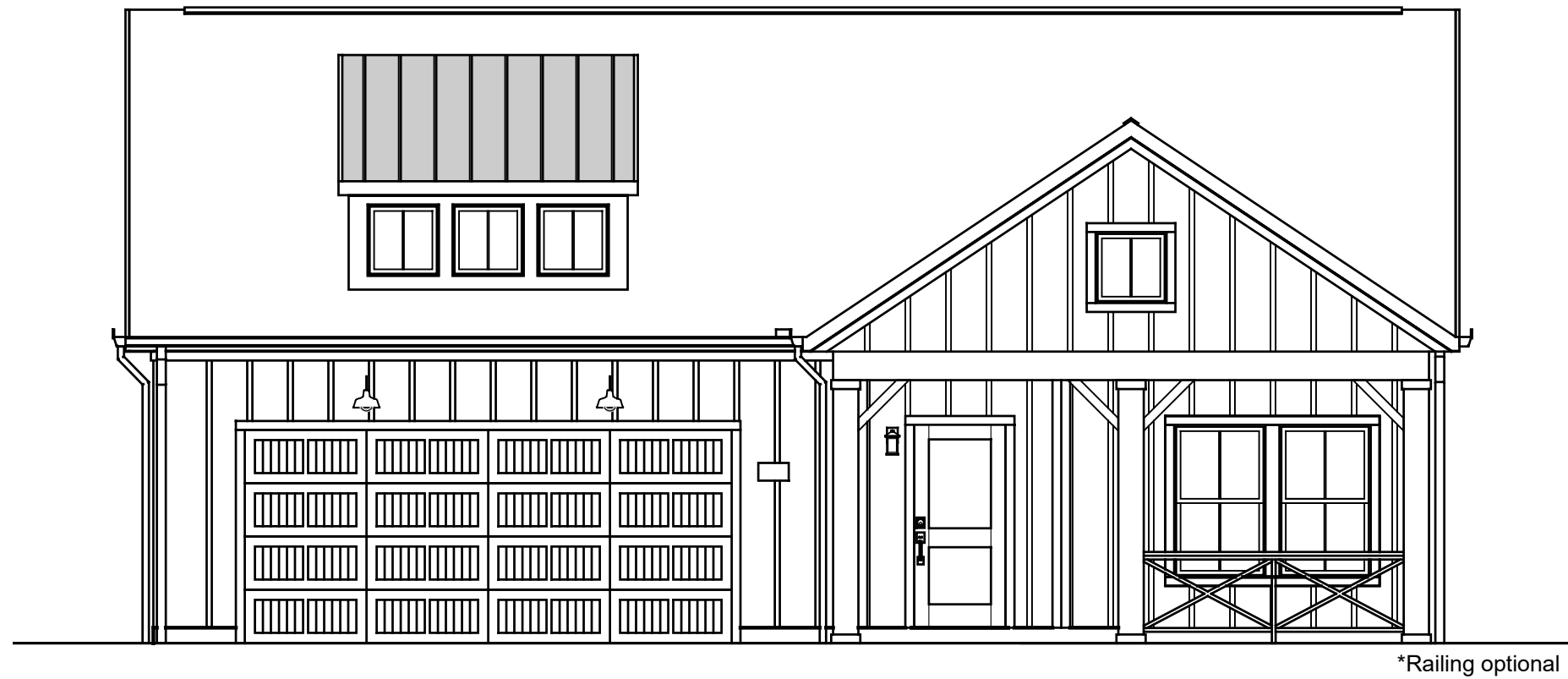
**PROMENADE (D-4) UNIT
RANCH ELEVATION B**





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PROMENADE (D-4) UNIT RANCH ELEVATION C



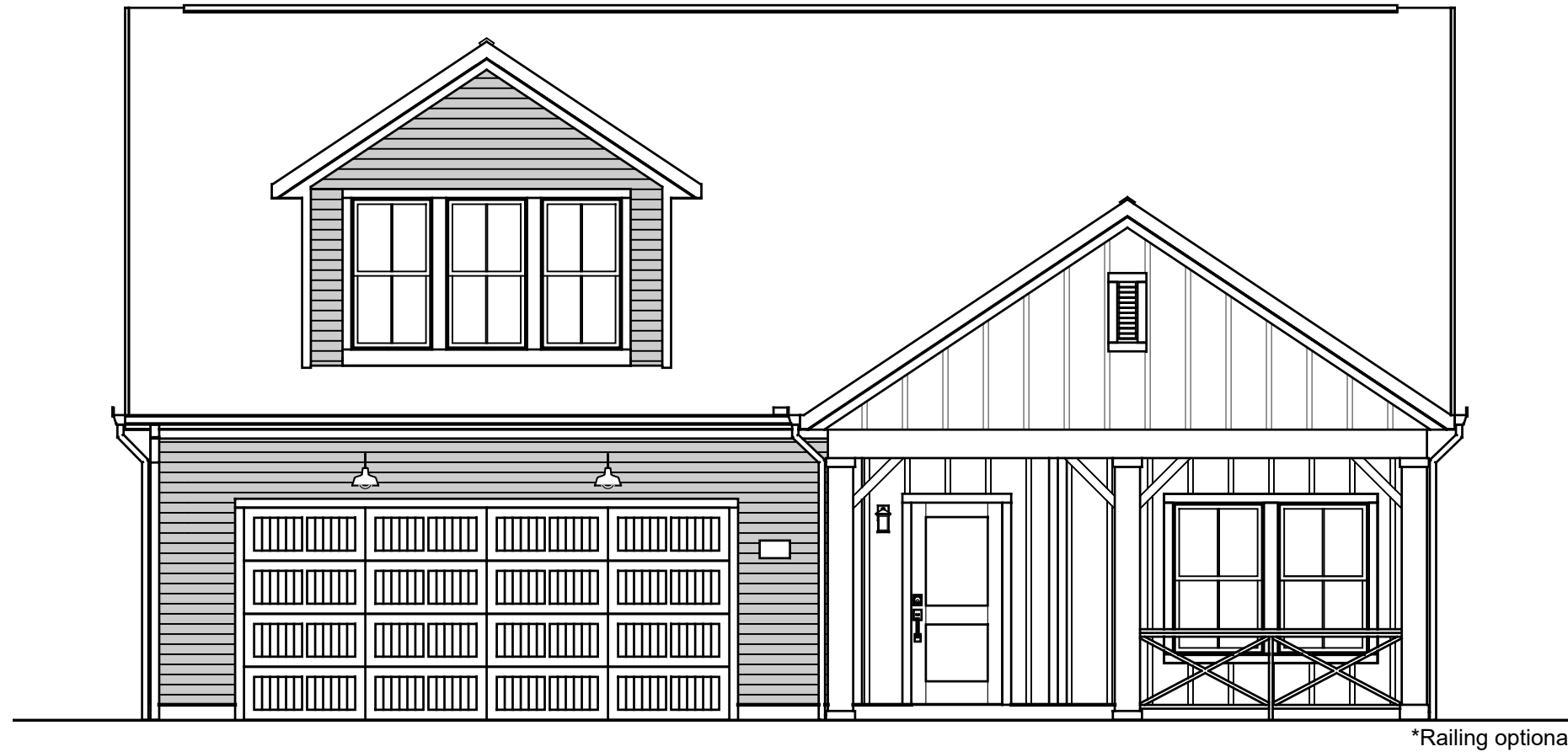


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PROMENADE (D-4) UNIT RANCH ELEVATION D



**PROMENADE (D-4) UNIT
BONUS ELEVATION A**

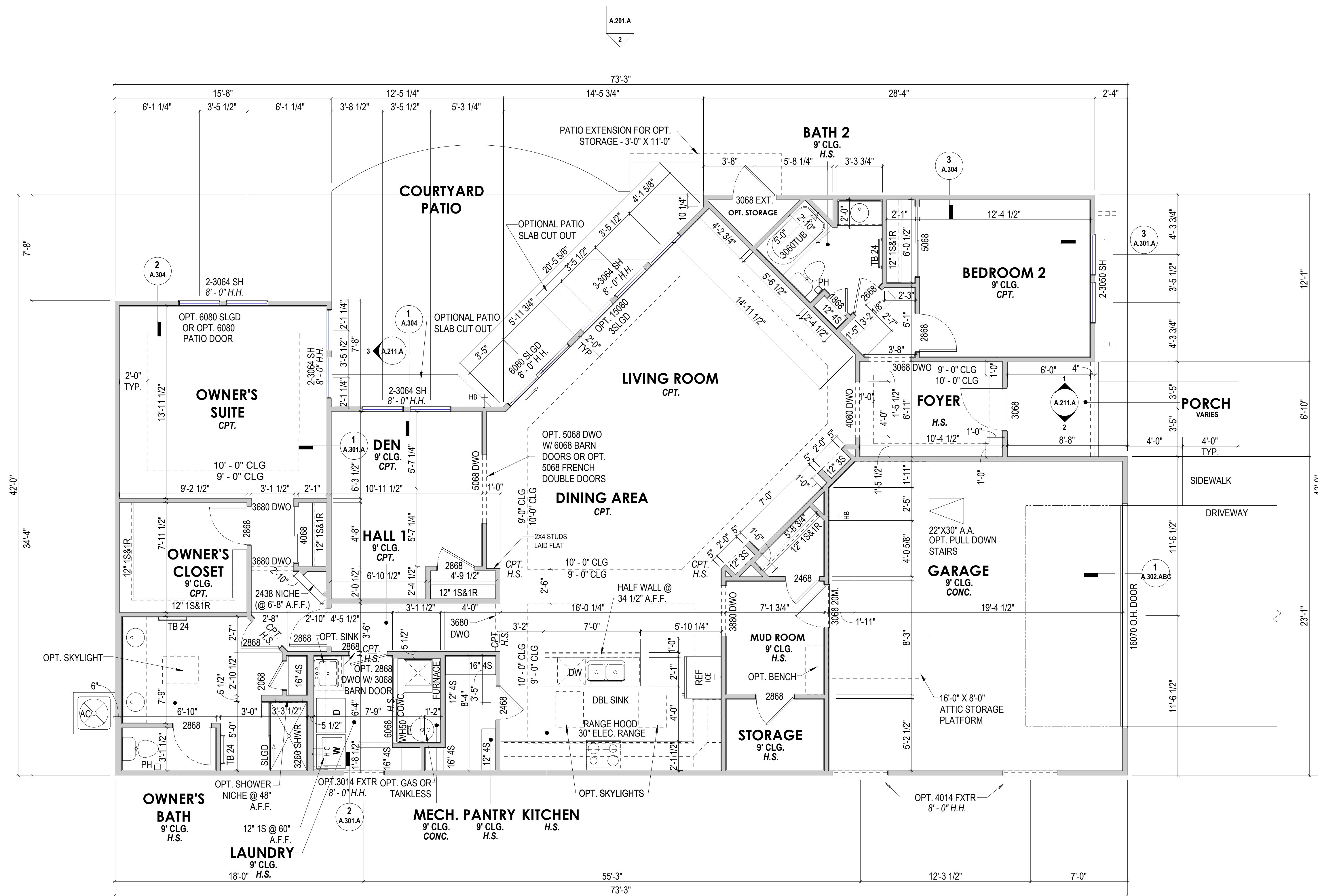


**PROMENADE (D-4) UNIT
BONUS ELEVATION B**



**PROMENADE (D-4) UNIT
BONUS ELEVATION C**





1 ELEVATION A
1ST FLOOR PLAN
 1/4" = 1'-0" MST-110021-MS

- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
 5. ANGLED WALLS TO BE AT 45° UNLESS NOTED OTHERWISE
 6. ATTIC STORAGE PLATFORM - PROVIDE 3/4" APA RATED PLYWOOD SUB-FLOORING OR OSB SHEATHING RATED FOR 20#SF ON BOTTOM CHORD OF TRUSSES. TRUSS MANUFACTURER TO ACCOUNT FOR ADDITIONAL LOADS
 7. SHOWER BENCH TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS
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ABBREVIATIONS

1S&1R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
DBL	DOUBLE
DR	DOOR
DS	DOWNSPOUT
DW	DISHWASHER
DWO	DRYWALL OPENING
ELEC	ELECTRIC
FLS	FLOATING SHELF
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GLS	GLASS
HB	HOSE BIB
HDR	HEADER
H.S.	HARD SURFACE
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OPT.	OPTIONAL
PH	PAPER HOLDER
REF	REFRIGERATOR
SH	SINGLE HUNG
SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

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1ST FLOOR PLAN - ELEV. A

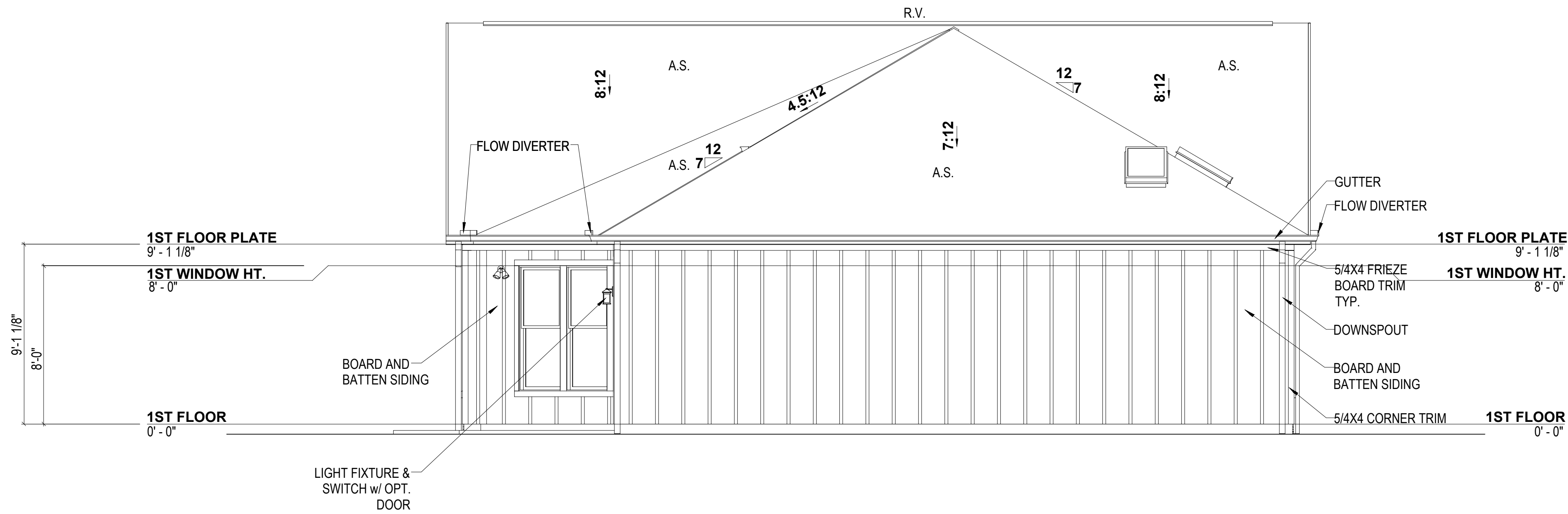
Pipeline Code: **D-4**
 Architectural Style: **FARMHOUSE**
 Garage Handing: **LEFT**

LOCATION: _____ LOT #: _____

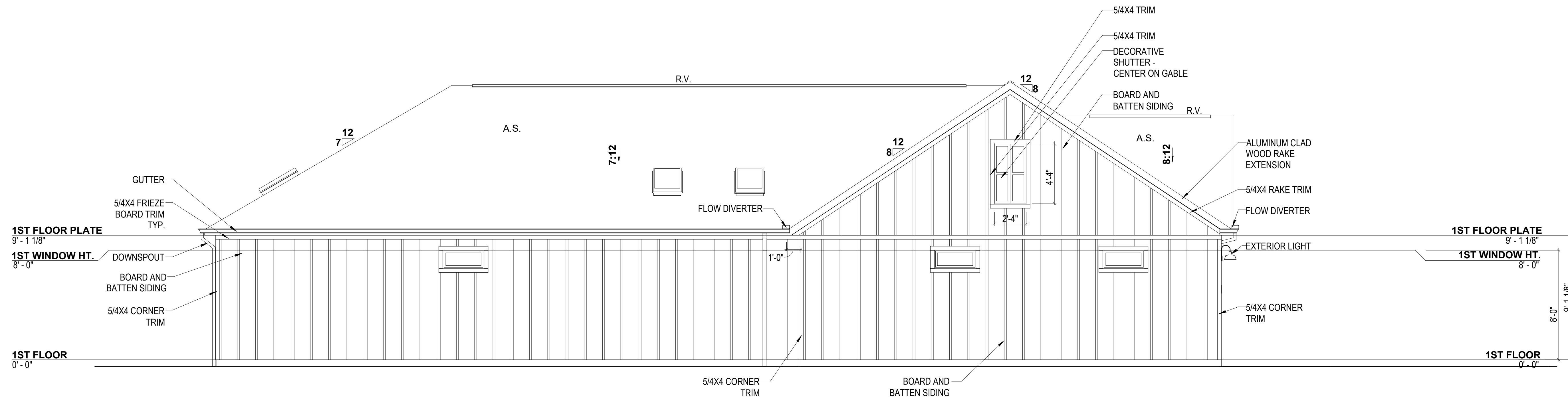
SHEET NUMBER
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1 ELEVATION A
REAR VIEW
1/4" = 1'-0" MST-110021-MS



2 ELEVATION A
LEFT VIEW
1/4" = 1'-0" MST-110021-MS

- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE 5/4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH

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COMMUNITY REVISIONS	REMARKS
REV. NO.	DATE
PROTOTYPE REVISION DATE	

ELEVATIONS - ELEV. A

Pipeline Code: **D-4**
Architectural Style: **FARMHOUSE**
Garage Handing: **LEFT**

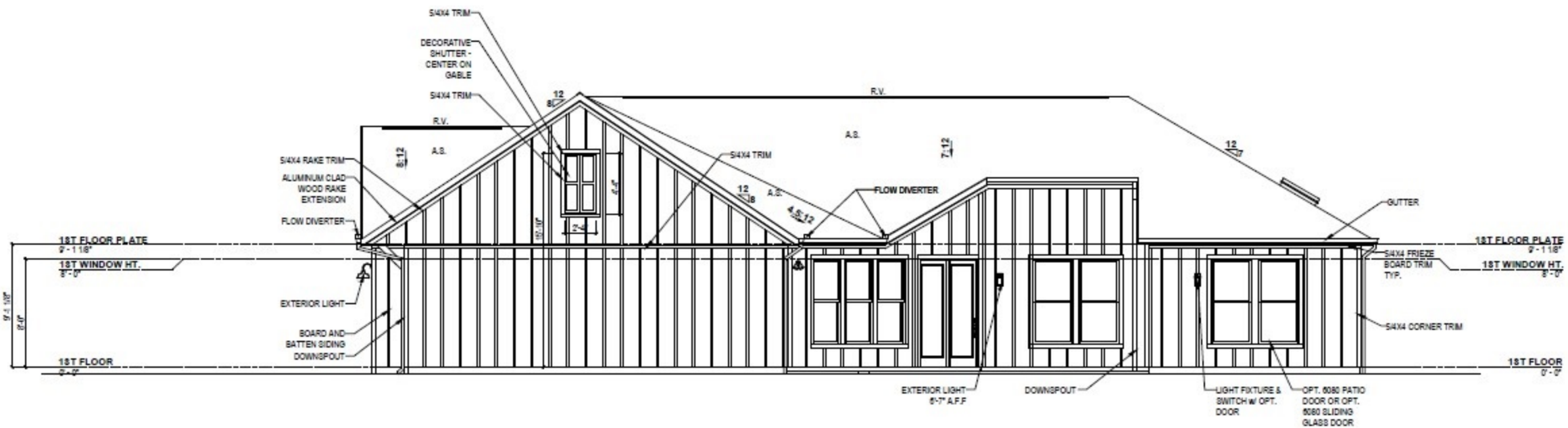
EPCON COMMUNITIES FRANCHISING

LOCATION: _____ LOT #: _____

SHEET NUMBER **A.205.A**

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2 **ELEVATION A**
RIGHT VIEW
1/4" = 1'-0" MS2-13001-MS

ELEVATION NOTES:

- ALL WINDOWS & DOORS TO HAVE S4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
- DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

ABBREVIATIONS	
A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
W/	WITH

REV. NO.	DATE	REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A

Pipeline Code: D-4

Architectural Style: FARMHOUSE

Garage Handing: LEFT

EPCCO COMMUNITIES FRANCHISING

LOCATION:

LOT #

SHEET NUMBER

A.201.A

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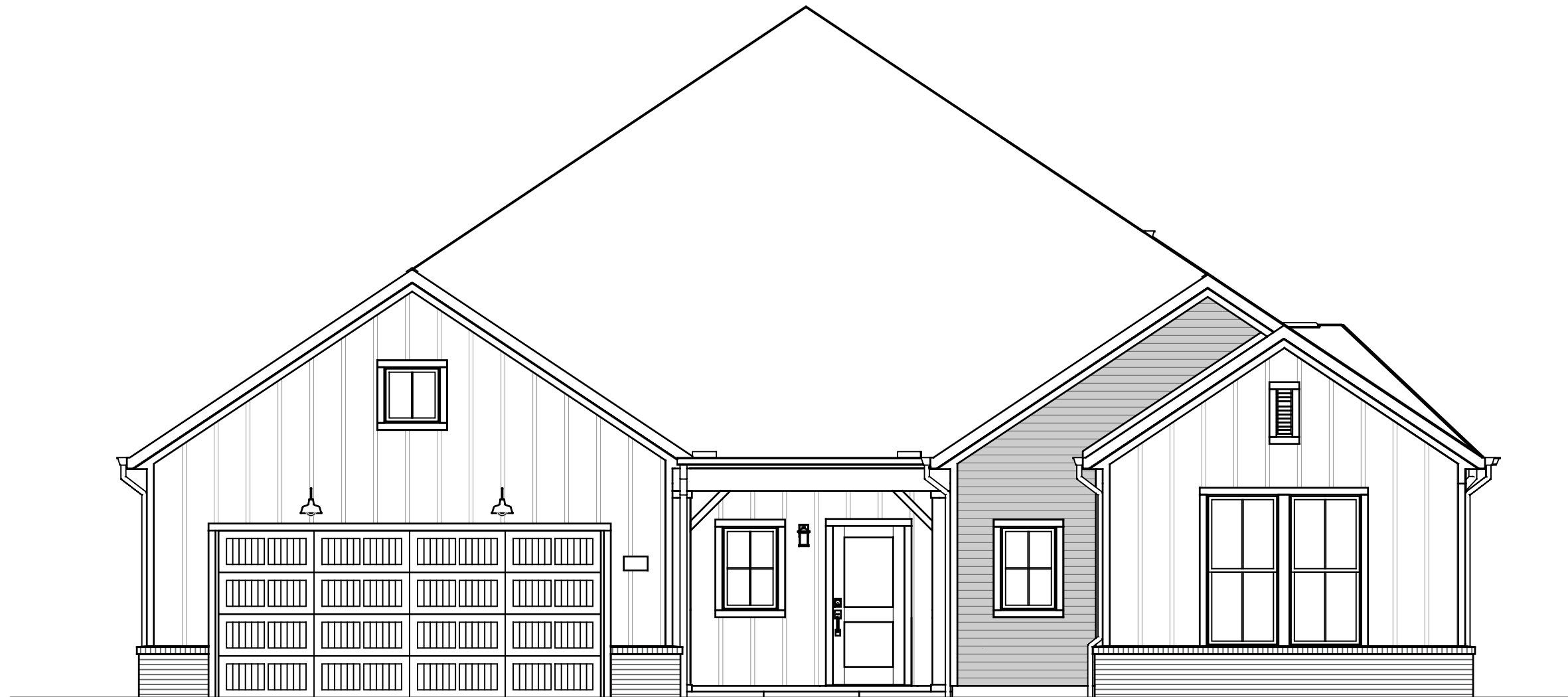
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PROVENANCE (E-1) UNIT RANCH ELEVATION A





A Simply Luxurious Lifestyle

PROVENANCE (E-1) UNIT RANCH ELEVATION B



NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS

**PROVENANCE (E-1) UNIT
RANCH ELEVATION C**



NOTES:
SHUTTER DOGS TO BE
USED AS REQUIRED FOR
CLOSED SHUTTERS



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PROVENANCE (E-1) UNIT RANCH ELEVATION D





A Simply Luxurious Lifestyle

PROVENANCE (E-1) UNIT BONUS ROOM ELEVATION A





A Simply Luxurious Lifestyle

PROVENANCE (E-1) UNIT BONUS ROOM ELEVATION B



**PROVENANCE (E-1) UNIT
BONUS ELEVATION C**



- GENERAL NOTES**
1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING
 2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS
 3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS
 4. HVAC CONTRACTOR TO LOCATE OUTDOOR UNIT - PROVIDE MINIMUM CLEARANCES PER MANUFACTURER'S SPECIFICATIONS
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ABBREVIATIONS

1S&R	1 SHELF & 1 ROD
4S	4 SHELVES
A.A.	ATTIC ACCESS
A.F.F.	ABOVE FINISHED FLOOR
C	CASEMENT
CLG.	CEILING
CONC.	CONCRETE
CPT.	CARPET
D	DRYER
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SHWR	SHOWER
SLGD	SLIDING GLASS DOOR
TB	TOWEL BAR
U.C.	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
WH	WATER HEATER

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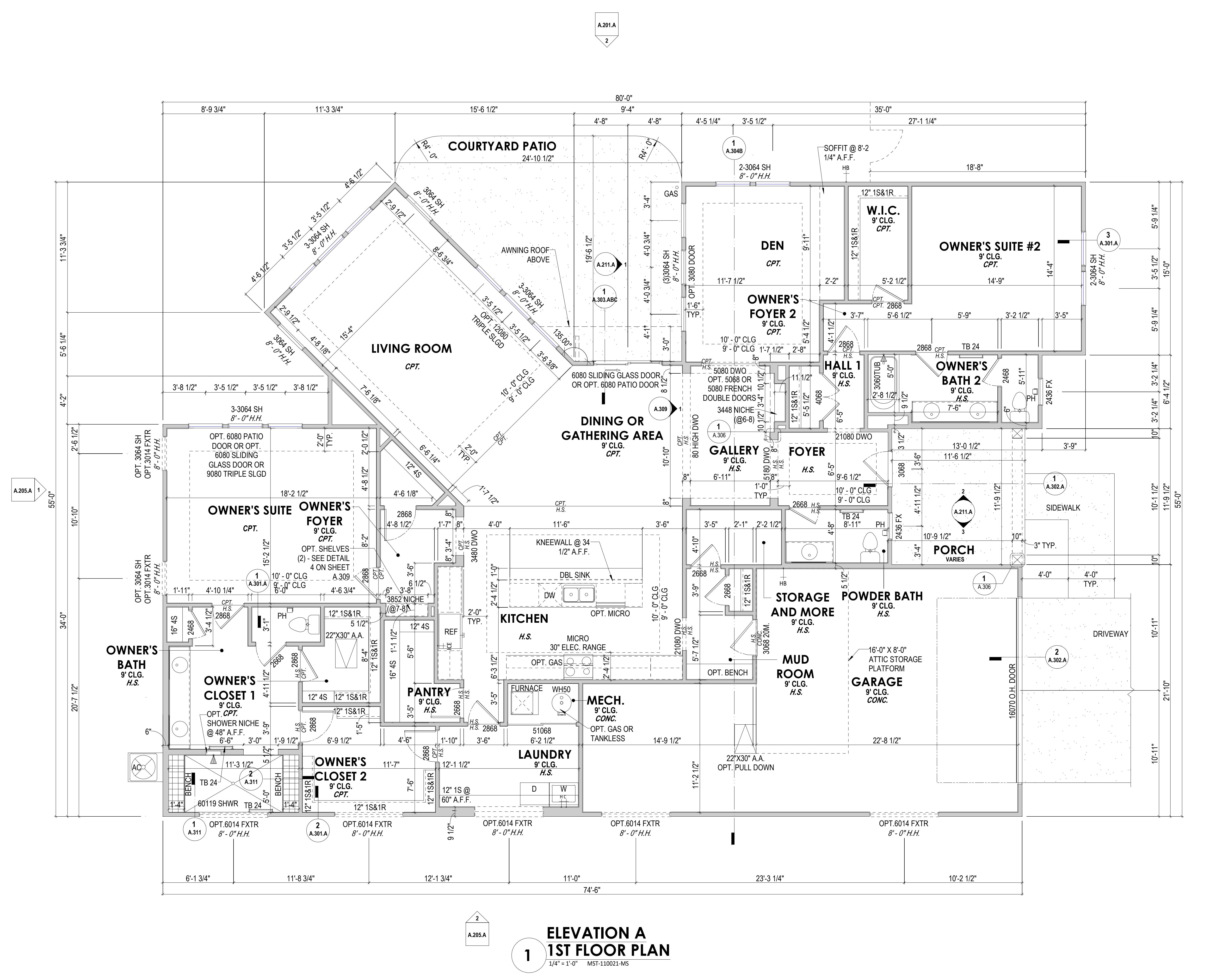
151 FLOOR PLAN - ELEV. A

Pipeline Code: E-1
Architectural Style: FARMHOUSE
Garage Handing: LEFT

LOCATION: A.121.A
SHEET NUMBER: A.121.A

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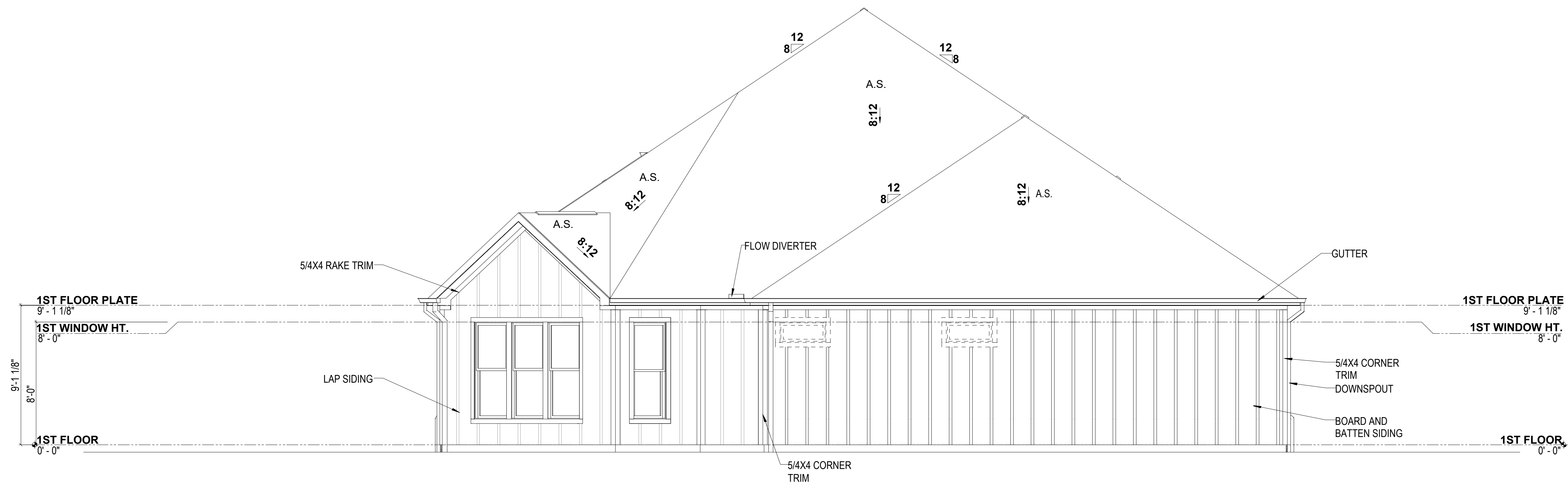
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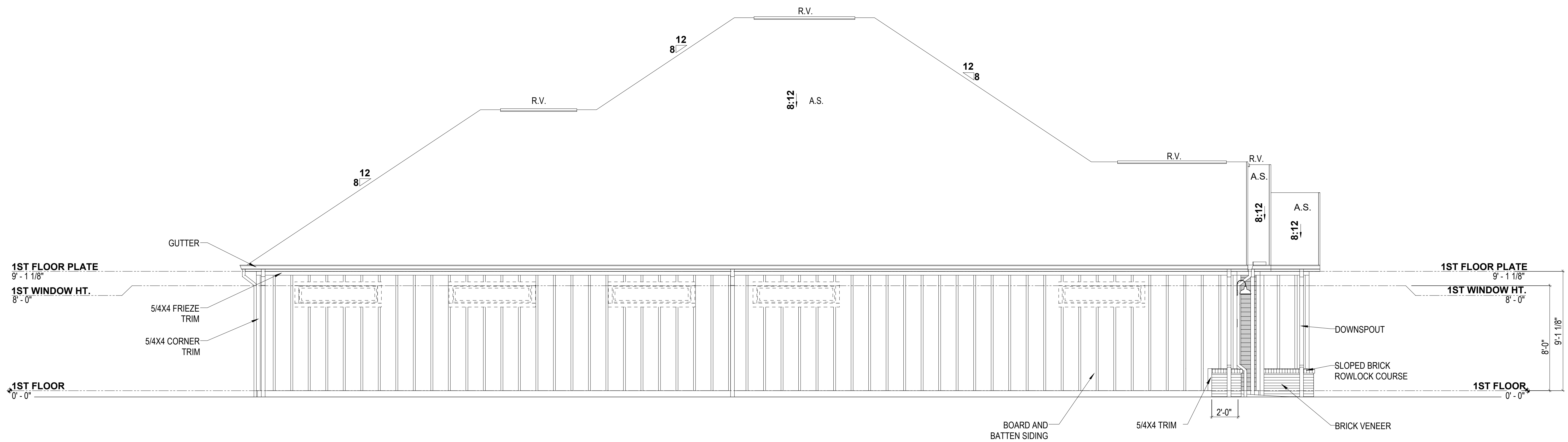
ELEVATION A
1ST FLOOR PLAN
1/4" = 1'-0" MST-110021-MS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
A.S.	ASPHALT SHINGLE
DIA.	DIAMETER
G.C.	GENERAL CONTRACTOR
OPT.	OPTIONAL
R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
w/	WITH



1
**ELEVATION A
REAR VIEW**
1/4" = 1'-0" MST-110021-MS



2
**ELEVATION A
LEFT VIEW**
1/4" = 1'-0" MST-110021-MS

ELEVATION NOTES:

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- DASHED CONTENT INDICATES OPTIONAL ELEMENTS.

COMMUNITY REVISIONS	
REV. NO.	DATE

REMARKS

PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A	
Pipeline Code:	E-1
Architectural Style:	FARMHOUSE
Garage Hanging:	LEFT

EPCON COMMUNITIES FRANCHISING	
LOCATION:	
SHEET NUMBER	A.205.A
LOT #:	

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G.C.	GENERAL CONTRACTOR
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R.V.	RIDGE VENT
RND.	ROUND
TYP.	TYPICAL
W/	WITH



REV. NO.	DATE	COMMUNITY REVISIONS
		REMARKS

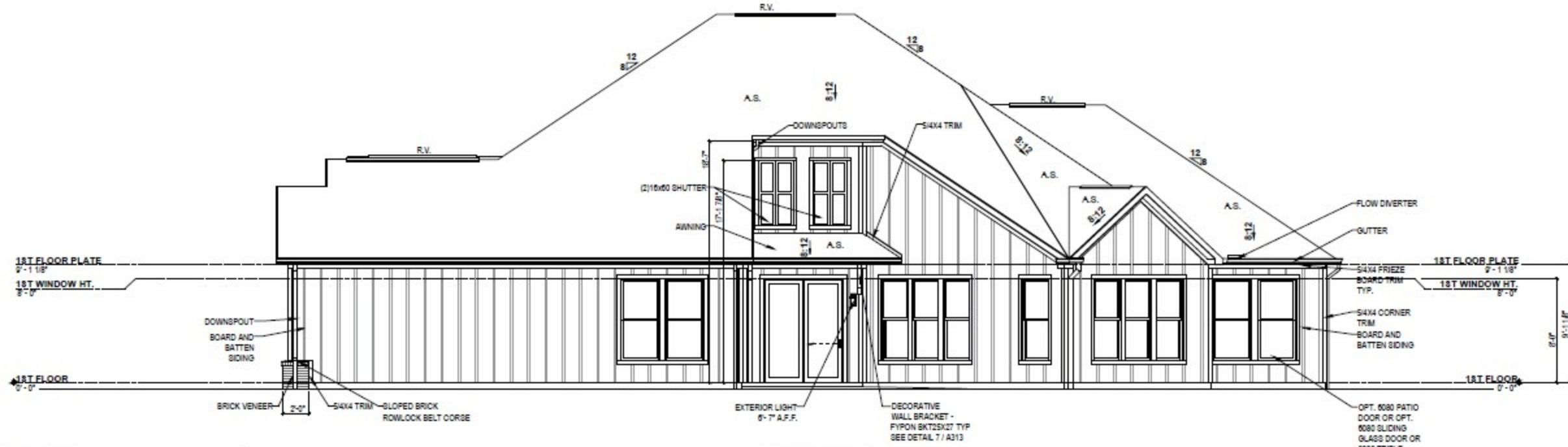
PROTOTYPE REVISION DATE

ELEVATIONS - ELEV. A			
Pipeline Code:	E-1	Architectural Style:	FARMHOUSE
Garage Hanging:	LEFT		

EPCON COMMUNITIES FRANCHISING	
LOCATION	
SHEET NUMBER	

A.201.A

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2 ELEVATION A RIGHT VIEW
 1/4" = 1'-0" MET-110021-A6

- ELEVATION NOTES:**
- ALL WINDOWS & DOORS TO HAVE S4X4 WOOD TRIM FOR HEADERS, JAMBS, AND SILLS WITHOUT OVERHANGS, UNLESS NOTED OTHERWISE.
 - DASHED CONTENT INDICATES OPTIONAL ELEMENTS.